



DEPARTMENT OF PLANNING AND BUILDING

Promoting the wise use of land - Helping to build great communities

TO: BOARD OF SUPERVISORS
FROM: PLANNING COMMISSION SECRETARY
DATE: NOVEMBER 22, 2016
SUBJECT: PLANNING COMMISSION ACTION ON AMENDMENTS TO THE LAND USE ORDINANCE AND ADDITION OF DESIGN GUIDELINES – WORKFORCE HOUSING

The Planning Commission of the County of San Luis Obispo held public hearings on May 26, 2016, June 9, 2016, July 14, 2016, July 28, 2016, September 8, 2016, and October 27, 2016 to consider proposed amendments. The Planning Commission, at the conclusion of the public hearing on October 27, 2016, adopted findings for the amendments and recommended them for approval. The Planning Commission made several changes to the proposed ordinance amendments, including site design changes, expanding the number of pilot units from 100 to 200, and several minor corrections, and made several changes to the proposed design guidelines, including extensive formatting, elimination of several guidelines, and edits to the compliance checklist.

The ordinance amendments, as recommended by the Planning Commission for approval to your Board, are attached to this transmittal letter.

The San Luis Obispo County Planning Commission recommends to the Board of Supervisors of the County of San Luis Obispo, State of California, approval of Land Use Ordinance amendment and Real Property Division Ordinance amendment LRP2014-00018 as shown in Exhibit LRP2014-00018:B based on the recommended findings.

On the motion of Commissioner Eric Meyer, seconded by Commissioner Jim Irving, and on the following roll call vote, to wit:

AYES: Commissioners Eric Meyer, Jim Irving, Jim Harrison, Don Campbell, and Ken Topping
NOES: None
ABSENT: None

The San Luis Obispo County Planning Commission also recommends to the Board of Supervisors of the County of San Luis Obispo, State of California, exemption of workforce housing subdivisions from the requirements of the County's Inclusionary Housing Ordinance.

On the motion of Commissioner Jim Irving, seconded by Commissioner Jim Harrison, and on the following roll call vote, to wit:

Attachment 4 - Planning Commission Letter with documents

AYES: Commissioners Jim Irving, Jim Harrison, Eric Meyer, Don Campbell, and Ken Topping

NOES: None

ABSENT: None

EXHIBIT C – LRP 2014-00008

ORDINANCE NO. _____

AN ORDINANCE AMENDING TITLE 22 OF THE SAN LUIS OBISPO COUNTY CODE, THE LAND USE ORDINANCE, AND TITLE 21 OF THE SAN LUIS OBISPO COUNTY CODE, THE REAL PROPERTY DIVISION ORDINANCE RELATING TO WORKFORCE HOUSING DIVISIONS, AND OTHER RELATED CHANGES

The Board of Supervisors of the County of San Luis Obispo ordains as follows:

SECTION 1. Chapter 22.22 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended by adding new Section 22.30.477 as follows:

22.30.477 – Residential – Workforce Housing Subdivision

A. Purpose and intent. The purpose of this Section is to create a program that incentivizes development of new housing that is affordable to San Luis Obispo County’s workforce. The ordinance provides a means to reduce the standard subdivision requirements in exchange for a commitment to construct workforce housing.

A workforce housing subdivision is meant to facilitate the creation of small fee-simple lots to accommodate infill housing within existing communities. A workforce housing subdivision differs from a planned development (see Section 22.22.145), in that there is no requirement for common space and lots. Lots are individually owned and structurally independent of one another, as in a conventional subdivision.

B. Workforce housing subdivision requirements. To qualify as a workforce housing subdivision, a subdivision of land or adjustment of lot lines shall meet the following standards:

1. **Location and land use category.** Workforce housing subdivisions shall be located ~~within an Urban or Village Reserve Line and~~ within the Residential Rural, Residential Suburban, Residential Single-Family, Residential Multi-Family, Office and Professional, and Commercial Retail land use category.

2. **Services.** Workforce housing subdivisions shall be served by community water and sewer service.

3. **Restriction on first conveyance.** The first conveyance of a developed workforce housing lot shall be subject to the following restrictions:

a. The initial sales price shall be limited to the maximum affordable sales price for workforce households, as set forth in Subsection C of Section 22.12.070 (Housing Affordability Standards), except in the following communities:

(1) **Oceano:** The initial sales price shall be limited to 75 percent of the maximum affordable sales price for workforce households.

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- (2) **San Miguel:** The initial sales price shall be limited to 71 percent of the maximum affordable sales price for workforce households.

b4. The grantee ~~of the first conveyance~~ shall occupy the parcel as their primary residence. ← --- **Formatted**

5. Workforce Housing Units within Residential Subdivision. Workforce housing units may be proposed as part of a larger residential subdivision. When workforce housing units comprise a minimum of 50% of the subdivision, the entire subdivision shall comply with Subsections C, D, E, F and G of Section 22.30.477. Workforce housing subdivisions under this provision may only reduce the overall inclusionary housing requirement by 50%, with no additional reductions.

C. Permit level. A workforce housing subdivision may be approved as part of a tentative parcel map or tentative tract map. A lot line adjustment may be approved in compliance with this Section, if processed concurrently with a Minor Use Permit.

D. Application content. In addition to the application materials required by Chapter 21.02 of the Real Property Division Ordinance, the following shall be submitted with any application for a workforce housing subdivision:

1. **Lot design.** For each lot, the tentative map shall identify the following features:

- a. Designation of a front property line. The front entrance for the primary residence will be required to align with the front property line on each new lot.
- b. The setbacks proposed from the front, rear, and side property lines.
- c. The location of required parking spaces.

2. **Floor plans and elevations.** Conceptual-level floor plans and elevations demonstrating how a workforce residence may be located on each lot.

3. **Draft maintenance agreement.** A draft agreement identifying how subdivision infrastructure will be maintained.

4. **Preliminary grading and drainage plans.** Preliminary grading and drainage plans for all lots and subdivision improvements. Such plans shall be compliance with Section 22.10.155 and Chapter 22.52.

5. **Preliminary landscaping and fencing plans.** Preliminary landscaping and fencing plans in compliance with Chapter 22.16.

E. Development standards for workforce housing subdivisions. The following standards apply to projects approved as workforce housing subdivisions:

1. **Minimum Site Area.** The Minimum Site Area for a workforce housing subdivision is 6,000 gross square feet.

2. **Residential Density.** The maximum residential density for workforce housing subdivisions shall be determined on the basis of the gross area of the subdivision as follows:

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- a. **Commercial Retail, Office and Professional, and Residential Multi-Family:** As specified in Section 22.10.130; except where a lower maximum density is required by Article 9 (Planning Area Standards) or Article 10 (Community Planning Standards) of this Title.
 - b. **Residential Single-Family:**
 - (1) ~~A density of one~~ One lot per 6,000 square feet; and
 - (2) No more than one residential unit per lot, except that secondary residences may be established on parcels with a minimum lot size of 4,000 square feet with a request for exception from the provisions of Section 22.30.470E (Minimum Site Area), consistent with Section 22.30.020D.
3. **Lot size and design.** Notwithstanding the minimum parcel sizes designated in Chapter 22.22 and the parcel design standards established in Section 21.03.010, the minimum lot dimensions resulting from a workforce housing subdivision shall be as follows:
- a. **Minimum Lot Size:** 1,000 gross square feet
 - b. **Minimum Lot Width:** 15 feet.
 - c. **Minimum Private Outdoor Area:** A useable private outdoor area shall be provided for each lot. This area may include patios, decks, balconies, or yards. The following requirements apply:
 - (1) The private outdoor area shall include at least one unobstructed ~~rectangular~~ area measuring at least 6 feet by at least 8 feet.
 - (2) Each lot shall have at least 200 square feet of cumulative private outdoor area.
4. **Setbacks.** Notwithstanding the setbacks specified in Section 22.10.140, the following setbacks shall apply within a workforce housing subdivision:
- a. **Setbacks from exterior subdivision boundaries.** A lot within a workforce housing subdivision shall maintain a minimum setback of 5 feet from any lot outside of the subdivision, as indicated in Figure 30-1.
 - b. **Interior lot line setbacks.** A minimum 3-foot setback shall be established from all lot boundaries adjacent to other lots within the workforce housing subdivision, as indicated in Figure 30-2. This setback may be reduced to 0 feet with an adjustment, pursuant to Section 22.70.030, provided that development on each parcel remains structurally independent.
 - c. Balconies. If approved by the hearing body, a balcony can extend over a public right-of-way in conformance with UBC Chapter 3202.2 (Encroachments). The balcony shall extend no more than 5 feet over the public right-of-way if the allowed front setback is zero and shall be a minimum of 8-foot depth by 10-foot width.

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Figure 30-1 – Exterior Subdivision Boundaries

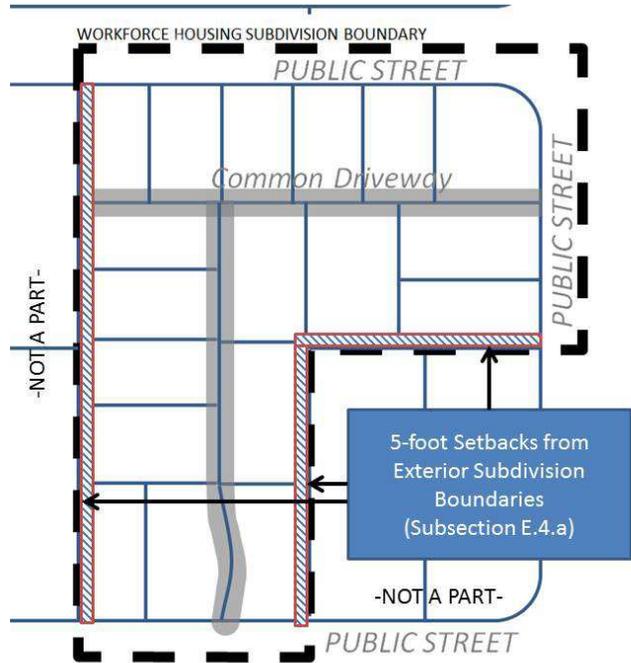
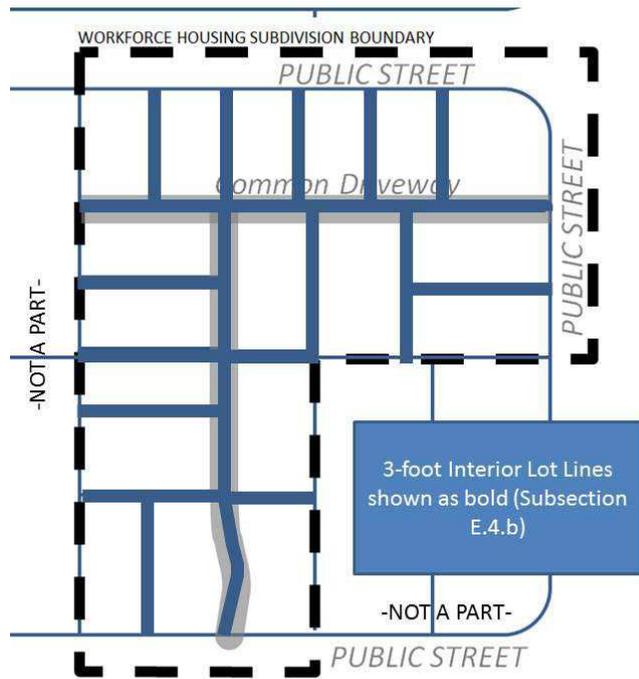


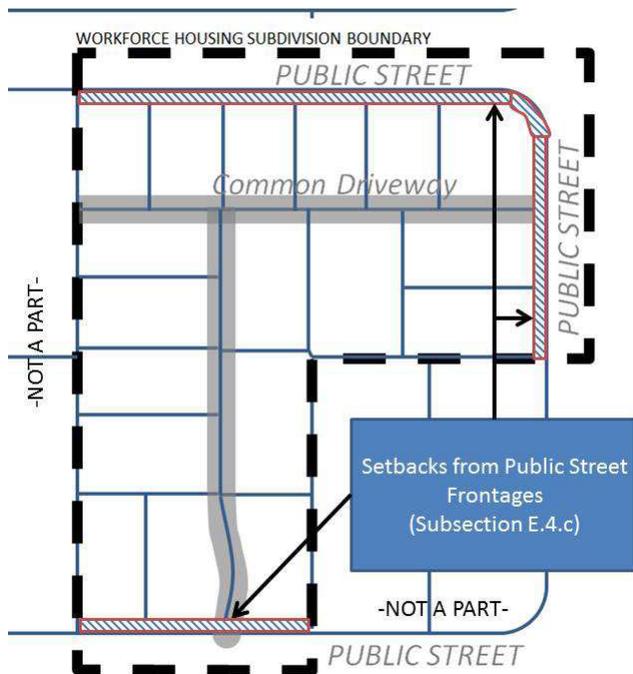
Figure 30-2 – Interior Lot Lines



ed. Setbacks from lot lines with public street frontages: A minimum setback of 15 feet shall be established from any public road right-of-way, as indicated in Figure 30-3; except in the following circumstances:

- (1) Front porches and/or entryway features shall be set back a minimum of 10 feet. If front porches are a minimum of 8-foot depth and minimum 10-foot width, the minimum setback shall be 5 feet.
- (2) Garages fronting and directly accessible from a public road shall be set back a minimum of 20 feet from back of sidewalk.
- (3) Where a lot created by a workforce housing subdivision has frontage on two public streets, one of the two frontages shall have a minimum set back of 10 feet.
- (4) A reduced structural setback of 10 feet may be approved with an adjustment, pursuant to Section 22.70.030.

Figure 30-3 – Public Street Frontages



5. Parking.

a. **Number of spaces.** Parking shall be provided on each parcel or in a consolidated location within or adjacent to the workforce housing subdivision, as follows:

Size of Unit	Number of Parking Spaces
Units 800 square feet or less in size	1 space
Units 801 to 1,000 square feet in size	1.5 spaces
Units over 1,000 square feet in size	2 spaces

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b. Consolidated parking. If parking within the workforce housing subdivision is proposed to be consolidated, the following standards shall apply.

- (1) Uncovered residential parking spaces shall be screened from public streets and adjacent residential uses by landscaping or architectural screening.
- (2) Shall be located in clusters of not more than six spaces. Each parking bay of six spaces shall be separated by at least a six-foot landscape area unless located under a covered structure, which would allow up to 10 spaces.
- (3) All detached covered parking shall have a roof design that is consistent with the architecture of the primary structures. Flat or slightly pitched roofs may be used for solar access applications or where the architectural relationship to the overall design is compatible.

6. Road Access.

a. All lots shall have vehicular access (either direct or by private easement) to a publicly maintained road; except that an adjustment may be granted pursuant to Section 21.03.020 for subdivisions where the following standards are met:

- (1) Designated parking for multiple lots is consolidated on-site or adjacent to the site in a location that has vehicular access from a publicly maintained road.
- (2) Lots with no vehicular access to a publicly maintained road shall, at a minimum, have pedestrian access by way of a passageway of at least 10 feet in width, extending from a publicly maintained road to one entrance of each dwelling unit.

b. Notwithstanding the provisions of Section 21.03.010(d)(7), a private easement may be used to provide vehicular access within a workforce housing subdivision, regardless of the number of lots.

7. Site planning and residential design.

a. **Minimum open area.** The minimum open area, including setbacks and all areas of the site except buildings shall be at least 35 percent of the gross lot area.

b. **Compliance with Countywide and Community Design Plans.** Residences in workforce housing subdivisions should be consistent with the Countywide Design Plan and any relevant local design plans.

c. **Compliance with Workforce Housing Design Guidelines.** Residences in workforce housing subdivisions should be consistent with the Workforce Housing Design Guidelines.

d. Front entrances.

- (1) Each primary residence shall be provided with a decorative entry feature, consistent with the Workforce Housing Design Guidelines.

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~~(2) Lots abutting a publicly maintained road shall have their primary residence's front entrance oriented towards that road. The location of primary residence's front entrance shall be designated for each lot within the subdivision.~~

- e. **Storage.** For units with no dedicated enclosed parking, a storage area of a minimum of 100 cubic feet shall be provided for each unit. The storage may be attached to the dwellings or may be attached to a carport structure.
 - f. **Street trees.** A minimum of one street tree per 25 feet of public road frontage shall be provided. Street trees shall be located within the road right-of-way or the front or street side setback of the subdivision.
 - g. **Fencing.** Fencing within designated street frontage setbacks shall not exceed four feet in height.
8. **Inclusionary housing.** Workforce housing subdivisions are eligible for the following inclusionary housing benefits:

a. **Secondary dwellings as inclusionary housing units.** Any secondary dwellings developed as part of a workforce housing subdivision in the Residential Single-Family land use category may be counted towards 50% of the remaining required inclusionary housing units. Residential units developed as part of a workforce housing subdivision in Residential Multi-Family, Commercial Retail, or Office Professional land use categories that meet the size limits of a secondary dwelling in Section 22.30.470.F may be counted towards 50% of the required inclusionary housing units.

b. **Reduction in required inclusionary units.** Workforce housing subdivisions are eligible for a ~~25~~-50 percent reduction in the number of required inclusionary housing units, pursuant to Section 22.12.080G.7. In addition, one of the following incentives may apply:

(1) If all of a project's inclusionary requirements are met on-site, the inclusionary requirement may be further reduced by 25 percent of the remaining required inclusionary housing units, in accordance with Section 22.12.080G.2.

OR

(2) If all of a project's inclusionary requirements are met within a URL or VRL, the inclusionary requirement may be further reduced by 25 percent of the remaining required inclusionary housing units, in accordance with Section 22.12.080G.6.

c. Any fractions of required inclusionary housing units resulting from the above calculations shall be rounded up to the next whole number.

F. Ownership and maintenance. Facilities that are common to a workforce housing subdivision shall be owned and maintained in common by the owners of the separate interests who have rights to beneficial use and enjoyment through easements and a maintenance agreement.

G. Additional map sheet. An additional map sheet shall be concurrently recorded with the final tract map or parcel map (or a developer's agreement with a certificate of compliance effectuating a lot line adjustment), including, at a minimum, the following items:

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1. **Graphic exhibit.** A graphic exhibit, consistent with plans approved by the Reviewing Authority showing the following features in relation to the lot and subdivision boundaries:
 - a. Identification of the location of the front property line for each parcel.
 - b. Building setback lines. Alternatively, a setback table indicating the approved setbacks for each lot may be provided.
 - c. Conceptual floor plans and elevations.
 - d. Restricted open areas where structural development is precluded, such as the designated useable yard area.
 - e. Identification of common facilities, such as driveways, utilities, drainage systems, garbage collection, and guest parking.
 - f. Location of any infrastructure referenced in the maintenance agreement.
2. **Notification of Maintenance Agreement.** Notification that a maintenance agreement for common subdivision infrastructure is recorded.
3. **Conditions of approval.** A copy of the conditions of approval affecting the workforce housing subdivision shall be included with the additional map sheet.

H. Timing.

1. **Eligibility.** An application for subdivision pursuant to this Section shall only be accepted for processing when the following timing eligibility criteria have been satisfied:
 - a. **Cap on number of lots ~~in each community.~~** No more than ~~100-200~~ cumulative lots may be approved pursuant to this Section as part of one or more workforce housing subdivisions ~~within the project site's Urban or Village Reserve Line.~~
 - b. ~~**Sunset.** The date of acceptance for workforce housing subdivisions must be prior to January 1, 2021 to qualify.~~
2. **Expiration.** Timeframes and time extensions for workforce housing subdivisions are the same as those timeframes associated with the approved tentative map or lot line adjustment.

SECTION 2. Section 22.30.490 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

22.30.490 – Residential Uses in Office or Commercial Retail Land Use Category

- A. **Limitation on use.** Except where prohibited by planning area standards (Article 9) and community planning standards (Article 10), new single-family or multi-family dwellings are allowed in an Office and Professional or Commercial Retail category, provided that they comply with the following requirements:
 1. **Principal commercial use.** ~~The~~ Except as provided in Subsections A.2 and A.3 below, residential units shall be subordinate to the primary commercial or office use of the site, located on either the second floor and/or rear of the site, and structurally attached to the main building. The first floor or front part of the building shall be used for the principal office or retail uses.

2. Principal residential use authorized by Planning Area Standard. Single-family or multi-family residential development may be authorized as a principal use through Minor Use Permit or Conditional Use Permit approval in a Commercial Retail or Office and Professional category; ~~only~~ if provisions to do so are included in the applicable planning area standards in Article 9.

3. Principal residential use in other areas. Single-family or multi-family residential development may be authorized as a principal use through Minor Use Permit or Conditional Use Permit approval in a Commercial Retail or Office and Professional category, provided that the following requirements are satisfied:

a. **Design.** The project shall be designed such that at least 50 percent of the floor area may be occupied for principal commercial use. Structural design must take into account all necessary building code requirements for commercial uses, such as those for accessibility and fire safety.

b. **Buildings fronting a public road.** Residential uses shall occur only on the upper floors of a building fronting a public road. On lots fronting multiple public roads, at least one frontage (preferably an arterial or collector) shall be in compliance with these requirements. The ground floor shall be reserved for principal commercial uses, except where the Review Authority approves an interim residential use on the ground floor. The following requirements apply to ensure that commercial uses are not precluded from ground floor space:

(1) The ground floor building façade must abut front and street side property lines. Setbacks of up to 10 feet may be approved if needed to provide useable public space such as a plaza or dining area.

(2) Ground floor space shall have a minimum floor-to-floor ceiling height of 12 feet.

(3) A minimum of 60 percent of the street-facing façade between two feet and eight feet in height shall be comprised of transparent storefront windows that allow views of indoor space or product display areas.

(4) The primary entrance to ground floor commercial space shall be oriented towards the public street.

c. **~~Interim Residential use.~~** The Review Authority may authorize commercial spaces, including the ground floor of buildings fronting a public road, to be used ~~temporarily~~ for residential purposes. The Review Authority's approval shall, at a minimum, consider the following:

(1) **Longevity.** Residential use of principal commercial space shall only be allowed as an interim use when the space would otherwise be vacant due to lack of commercial demand. The Review Authority shall establish the length of the interim period at the time of subdivision approval, and may grant future extensions of the interim period. The owner shall provide notification to occupants of residential units at least six months prior to cessation of the residential use of the space.

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(2) Exterior modifications for conversion to residential use. Even when used for interim residential purposes, the ground floor of buildings fronting a public road shall maintain a commercial appearance. Exterior modifications to commercial space to accommodate an interim residential shall not preclude future commercial use and shall be limited to the following:

- (a) Modifying the entryway to the unit.
- (b) Reducing the transparency of storefront glass.
- (c) Any other necessary modifications the Review Authority deems appropriate.

SECTION 3. Section 22.10.130.A.2 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

22.10.130 – Residential Density

A. Single-family dwellings

2. **Residential land use categories:** One for each legal parcel, except as follows:

- a. **Areas with special density standards.** Where planning area standards of Chapter 22.09 (Community Planning Standards) establish density requirements, the planning area standards shall control and determine the number of allowed dwelling units.
- b. **Density bonus projects.** The number of dwelling units allowed in a project that proposed affordable housing in compliance with Government Code 65915 or with Section 22.12.080 – Inclusionary Housing, shall be determined by Chapter 22.12 (Affordable Housing Incentives)
- c. **Residential Multi-Family category.** The number of dwelling units allowed on a lot in the Residential Multi Family category shall be as allowed in Subsection B, except for workforce housing subdivisions processed pursuant to Section 22.30.477.
- d. **Secondary dwellings.** A secondary dwelling may be established in addition to the use authorized by this Section, if allowed by Section 22.30.470.
- e. **Detached guesthouse or home office.** A detached guesthouse or home office may be established accessory to the unit authorized by this Section, in compliance with Section 22.30.410.E (Guesthouses and Offices).
- f. **Workforce housing subdivisions.** Residential density in workforce housing subdivisions shall be as allowed by Section 22.30.477 – Residential - Workforce Housing Subdivisions.

SECTION 4. Section 22.06.030 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

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Add “Workforce Housing Subdivisions” as an A2 use in the Residential Single-Family (RSF), Residential Multi-Family (RMF), Commercial Retail (CR), and Office/Professional (OP) land use categories and reference Section 22.30.477 in the Specific use Standards box.

Add “Secondary Dwellings” as an A2 use in the Residential Multi-Family (RSF), Commercial Retail (CR), and Office/Professional (OP) land use categories.

SECTION 5. Section 22.30.470.B of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

3. In Residential Multi-Family, Commercial Retail, and Office/Professional. Secondary units are only allowed within Workforce Housing Subdivisions pursuant to Section 22.30.477.

SECTION 56. Section 22.12.080.G.7 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

G. Development incentives for residential and commercial/industrial projects. When the inclusionary housing units required by this Section are to be constructed on-site or off-site, the following incentive shall be available:

7. Workforce Housing Subdivisions. The number of required inclusionary housing units for a workforce housing subdivision approved in accordance with Section 22.30.477 shall be reduced by 25 percent.

SECTION 67. Section 22.12.080.H of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

H. Development standards for inclusionary housing. Inclusionary housing units and land donation(s) that are provided in compliance with this Section are subject to the following standards:

1. **Affordability.** The selection of eligible households, calculation of sales prices, and preparation of long term affordability agreements shall be in conformance with the provisions of Section 22.12.070 – Housing Affordability Standards, except for secondary dwelling units developed in an approved workforce housing subdivision in accordance with Section 22.30.477.

2. **Inclusionary housing design in residential and mixed-use projects.**

- a. The inclusionary housing units shall have compatible exterior designs and finishes to the development’s market rate units.
- b. The inclusionary units may be smaller in size and have different interior finishes, features, and appliances, so long as the interior components are durable, of good quality, and consistent with contemporary standards for new housing.
- c. In 50 percent or more of the inclusionary housing units, the average number of bedrooms shall be equal to or greater than the average number of bedrooms in the development’s market-rate units.

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- d. Up to 30 percent of the inclusionary housing units may be secondary dwelling units pursuant to Section 22.30.470 – Residential – Secondary Dwellings. For workforce housing subdivisions approved pursuant to Section 22.30.477, up to 50 percent of the inclusionary housing units may be secondary dwelling units.

SECTION 87: Section 22.22.020 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended as follows:

22.22.020 -Applicability

E. Workforce housing subdivisions. The minimum parcel size for workforce housing subdivisions is determined by Section 22.30.477 (Residential – Workforce Housing Subdivisions).

SECTION 98: Chapter 22.80 of the Land Use Ordinance, Title 22 of the San Luis Obispo County Code, is hereby amended by adding new Definition as follows:

Subdivision, Workforce Housing. A subdivision of land intended to create housing that is affordable to San Luis Obispo County’s workforce. Lots created in a workforce housing subdivision -held in individual ownership. Each lot is structurally independent with no ~~shared foundations or common walls.~~

SECTION 910: Chapter 21.03.020 of the Real Property Division Ordinance, Title 21 of the San Luis Obispo County Code, is hereby amended as follows:

21.03.020 – Adjustments

- (a) In performing its responsibilities pursuant to this title, the planning commission and the subdivision review board may consider, and in cases where undue hardship would result from the application of the regulations established in this title, approve adjustments or conditional adjustments to these regulations.
- (b) Requests for adjustments to the standards set forth in Section 21.03.010 of this title shall be submitted in writing to the planning department at the time the applicant submits the application for land division. If the request is for an adjustment to the requirements of the standard improvement specifications and drawings or for required offers of dedication, the adjustment may be requested at the time the applicant submits the application for land division or may be requested after the tentative parcel or tract map has been approved but before recordation of the parcel or tract map. When the regulation from which the applicant is seeking relief is prescribed in Title 22 or Title 23 of this code, the applicant shall seek relief pursuant to that title.
- (c) Workforce housing subdivisions processed pursuant to Section 22.30.477 of the Land Use Ordinance are exempt from the standards in Subsections (c)(3) and (d)(7) of Section 21.03.010(Design Criteria in the Real Property Division Ordinance).
- (ed) Neither the planning commission nor the subdivision review board shall approve any adjustment request to the standards set forth in Section 21.03.010 of this title or for required offers of dedication unless it makes each of the following findings:

- (1) That there are special circumstances or conditions affecting the subdivision; and

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- (2) That the granting of the adjustment will not have a material adverse effect upon the health or safety of persons residing or working in the neighborhood of the subdivision; and
 - (3) That the granting of the adjustment will not be materially detrimental to the public welfare or injurious to other property or improvements in the neighborhood of the subdivision.
- (de) If the request is for an adjustment to the requirements of the standard improvement specifications and drawings, neither the planning commission nor the subdivision review board shall approve the adjustment unless it makes each of the following findings:
- (1) That there are special circumstances or conditions affecting the property being subdivided; and
 - (2) That the granting of the adjustment will not be detrimental to the traffic circulation system, the public utility and storm drainage systems, or vehicular or pedestrian safety; and
 - (3) That the granting of the adjustment will not result in any unreasonable costs in the maintenance of the improvement by the entity charged with such maintenance responsibility; and
 - (4) That the granting of the adjustment will not be detrimental to, nor degrade, any portion of the improvement work involved in the subdivision.

SECTION 4011. This project is covered by the general rule that the California Environmental Quality Act (CEQA) applies only to projects which have the potential for causing a significant effect on the environment (Government Code 15061(b)(3). It can be seen with certainty that there is no possibility that this project may have a significant effect on the environment because no new development is authorized and no increase in density will occur. Therefore, the activity is not subject to CEQA.

SECTION 412. If any section, subsection, clause, phrase or portion of this ordinance is for any reason held to be invalid or unconstitutional by the decision of a court of competent jurisdiction, such decision shall not affect the validity or constitutionality of the remaining portion of this ordinance. The Board of Supervisors hereby declares that it would have passed this ordinance and each section, subsection, clause, phrase or portion thereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases or portions be declared invalid or unconstitutional.

SECTION 4213: This ordinance shall take effect and be in full force on and after 30 days from the date of its passage hereof. Before the expiration of 15 days after the adoption of this ordinance, it shall be published once in a newspaper of general circulation published in the County of San Luis Obispo, State of California, together with the names of the members of the Board of Supervisors voting for and against the ordinance.

PASSED AND ADOPTED by the Board of Supervisors of the County of San Luis Obispo, State of California, on the _____ day of _____, 2016, by the following roll call vote, to wit:

AYES:

NOES:

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ABSENT: None

ABSTAINING: None

Chairman of the Board of Supervisors,
County of San Luis Obispo,
State of California

ATTEST:

County Clerk and Ex-Officio Clerk
of the Board of Supervisors
County of San Luis Obispo, State of California

[SEAL]

ORDINANCE CODE PROVISIONS APPROVED
AS TO FORM AND CODIFICATION:

RITA L. NEAL
County Counsel

By: _____
Deputy County Counsel

Dated: _____



Workforce Housing

Design Guidelines



Final PC Draft
October 27, 2016



Workforce Housing

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<p><i>Chapter 3: Building Design</i></p> <p>Guidelines for high-quality, aesthetically pleasing, and functional building form.</p>	
<p><i>Chapter 4: Landscaping and Outdoor Areas</i></p> <p>Guidelines for delineating outdoor areas and encouraging privacy through landscape design.</p>	
<p><i>Appendix A: Workforce Housing Subdivision Application Checklist</i></p> <p>A checklist to use to aid in the submittal and review of a workforce housing subdivision project.</p>	

Workforce Housing

1. Introduction



Providing an adequate supply and range of affordable housing choices is a high priority in San Luis Obispo County.

Background

Providing an adequate supply and range of affordable housing choices is a high priority and significant challenge in San Luis Obispo County. The San Luis Obispo region faces constraints such as high construction costs and high demand for developable land. The Housing Element is a component of the County's General Plan. Through the Housing Element, the County sets policies and standards to facilitate the provision of affordable housing.

Affordable housing is divided into several classifications:

Definition	Income	Annual Income for a Family of 4 (2015)
Extremely Low Income	30% Median	\$22,600
Very Low Income	50% Median	\$37,700
Low Income	80% Median	\$60,300
Median Income	Median	\$77,000
Moderate Income	120% Median	\$92,400
Workforce Income	160% Median	\$123,200

Because of the compact nature of the development, specific focus should be given to any design issues that affect quality of life.

Present market conditions make the construction of large single family homes the most profitable option for developers. The average single family residence in the unincorporated County has steadily risen from 1,600 square feet in 1980 to 2,300 square feet in 2010 (Housing Element 2014). Meanwhile, demographic trends show a decrease in household size. This has led to a situation where families need to dedicate a large proportion of their income towards housing costs. In some communities, based upon census data, this represents up to 60% of household income. The U.S. Department of Housing and Urban Development considers families who pay more than 30% of their income for housing ‘cost burdened’ and potentially challenged in affording necessities (source HUD).

The Workforce Housing Ordinance is envisioned as a means to encourage the development of market-rate residences that are affordable to the County’s workforce. This is accomplished in two ways:

- **Workforce Housing Subdivisions** - Relax certain standards for new subdivisions that involve the development of workforce housing.
- **Mixed Use Developments** - Allow interim residential uses to occur in commercial mixed use developments.

Workforce housing developments often deal with compact infill development in existing urbanized areas with nearby head-of-household employment. Because of the compact nature of the development, specific focus should be given to any design issues that affect quality of life. For example, a small-lot subdivision should consider not only the design of the individual residential units, but also the siting of structures and the location of upper floor windows, front entrances, parking, and private outdoor space. Issues such as these are generally context-based and depend upon site conditions and constraints. As a result, specific design requirements are best addressed on a case-by-case basis as part of the design review process, rather than through a “one size fits all” ordinance standard.

The San Luis Obispo County Economic Vitality Corporation's Building, Design, and Construction Cluster was involved in the crafting of the workforce housing subdivision ordinance.

These design guidelines are intended to provide guidance on the design, review, and approval of workforce housing developments. **Guidelines differ from standards in that they are recommendations and not requirements.** They are a reference point and should be used in the following ways:

- **By the landowner or designer,** to help in designing the conceptual layout of the development and its various features (e.g. parking, outdoor space, etc.)
- **By the Community Advisory Council,** to aid in their review and recommendations on discretionary development projects. The advisory council should reference the guidelines in recommending revisions to development plans and identifying any critical guidelines that should be applied as conditions of approval to the project.
- **By the County Planner,** to aid in their design review and recommendations for the project.
- **By the Review Authority,** to aid in their deliberations when considering project approval, conditional approval, or denial.

What is a Workforce Housing Subdivision?

A workforce housing subdivision is a standard residential subdivision where all units are priced to be affordable to the County's workforce. The "workforce" is considered to be any household that earns up to 160 percent of median household income or \$123,200 annually as of July 2015. County Planning and Building publishes monthly statistics showing the maximum sales price of a workforce residence.



*Moylan Terrace Site Plan
RRM Design Group*

In exchange for flexibility and other incentives, the developers agree to limit sales price and to sell to owner-occupants (first sale only).

A workforce housing subdivision differs from a *planned development*, which is governed under a separate section of the Land Use Ordinance (see Section 22.22.145). Planned developments are common interest developments as defined in the California Civil Code. In this respect, planned developments always include some land under common ownership or held by a homeowners association. Planned developments do, however, provide a mechanism to reduce lot sizes, reduce setbacks, and otherwise adjust ordinance standards to accommodate a more compact building design. This flexibility standards also applies to workforce housing subdivisions. **The key difference is that workforce housing subdivisions do not require any land or facilities to be held in common.**

In exchange for the flexibility and other incentives, the developers of a workforce housing subdivision agree to the following limitations:

- **The first sale of each residence must meet the affordability criteria for a workforce housing residence.** The affordability criteria is adjusted for the communities of San Miguel and Oceano to reflect lower household incomes in those communities.
- **~~The first sale of~~ Each residence must be to an owner-occupant owner-occupied.** This is intended to discourage

Objective 1

Incentivize the development of new housing in a range of types and affordability to San Luis Obispo County's workforce.



Mixed use development in San Miguel

The difficulty of financing commercial space has prevented mixed use projects from being built.

investors from purchasing residences intended for workforce ownership.

Another crucial difference between planned developments and workforce housing subdivisions relates to construction. Though not all planned developments involve a single structure crossing property lines and/or airspace unit boundaries, some (such as condominiums) do. A workforce housing subdivision, in contrast, involves no common ownership. Lots are held in fee-simple title, similar to a conventional subdivision. Therefore, each lot in a workforce housing subdivision must remain structurally independent.

What is a Mixed Use Development?

A mixed use development is a single development project that involves more than one use of land. For example, a two story building with 10,000 square feet of retail space on the ground floor and two apartments above would be considered mixed use. The County General Plan strongly encourages mixed use developments in urbanized unincorporated areas (refer to *Framework for Planning*). Mixed use developments are allowed in the Commercial Retail (CR) and Office and Professional (OP) land use categories.

Mixed use developments are almost always located in the central business district of an urbanized community, where the County envisions future pedestrian activity. In many ways, these developments mimic central business district development patterns prevalent throughout the County prior to the 1950s. By introducing high quality design and enhancing the pedestrian experience, mixed use developments can be an excellent tool for revitalizing business districts. Business owners also enjoy the added security of having residents nearby to keep “eyes on the street.” Because they are located

Overarching Goals

in commercial land use categories, mixed use developments are required to be primarily commercial in nature. This has historically been interpreted as a requirement that at least one-half of the square footage be dedicated to commercial use. In the last decade, the County Planning Commission has approved several mixed use developments. However, only a few of these have been constructed. Developers have consistently told the County that they are willing and able to construct the residential component of their mixed use development, but have difficulty obtaining financing on the commercial development. Recent conference sessions at the American Planning Association confirm that this trend is common throughout California.

Overarching Goals of Workforce Housing	
Goal 1	Create high quality indoor and outdoor living environments for all residents.
Goal 2	Design residences to enhance the public realm.
Goal 3	Provide fee simple home ownership opportunities for a greater number of people at a wider range of income levels.
Goal 4	Provide solutions for the development of infill housing.
Goal 5	Design and configure housing to be compatible with the existing neighborhood context, especially in sensitive areas.
Goal 6	Prioritize the livability and the affordable market value of a project over density limitations.

Workforce Housing

Overarching Goals

The following overarching goals should be considered throughout the design, review, and approval process for workforce housing subdivisions. Any subdivision approved under these standards should meet all of the following goals.

The difficulty of financing commercial space has prevented mixed use projects from being built. This, in turn, has hindered attempts to revitalize central business districts. **As part of the workforce housing ordinance, the County has adopted standards that would allow commercial space in mixed use developments to be used for residential purposes on an interim basis, as long as they are designed to meet commercial form requirements.** Over time, the intent is that market conditions would allow ground floor spaces along public roads to convert to commercial use, as the demand rises.

Ordinance Standards

In order to qualify as a workforce housing subdivision, a project is required to meet certain eligibility standards. The checklist below summarizes these requirements:

Workforce Housing Ordinance	
<i>Compliance Checklist</i>	
<i>Location Eligibility</i>	
	The project site is located inside an Urban or Village Reserve Line within the RR, RS, RSE, RMF, O/P, or CR land use categories.
	The subdivision will be served with community water and sewer.
<i>Sales Restrictions</i>	
	Subdivider agrees to convey the first sale of a developed <u>that all</u> workforce housing parcel to an owner-occupant units shall be owner-occupied.
	Subdivider agrees to limit the sales price for the first sale of a developed workforce housing parcel to workforce affordability standards.
<i>Lot Dimensions and Design</i>	
	The parent parcel is at least 6,000 square feet.
	All lots are at least 1,000 square feet in size with a minimum width of <u>15-20</u> feet. Development must be consistent with the density of the land use category.
	Each lot is structurally independent.

Workforce Housing

Workforce Housing Ordinance	
<i>Compliance Checklist</i>	
	Once developed, all lots are designed to contain at least 200 square feet of private outdoor area.
	The <u>200 square-foot</u> private outdoor area designated on each lot will contain at least one unobstructed <u>rectangular</u> area with a <u>minimum dimensions</u> <u>depth</u> of 6 feet <u>by</u> and <u>minimum width</u> of 8 feet.
	At least 35 percent of the subdivision will be open area (including setbacks, but excluding structural development).
<i>Setbacks</i>	
	Development on all lots will maintain a minimum 5 foot setback from exterior tract boundaries.
	Development on all lots will maintain a minimum 3 foot setback from interior lot boundaries, unless the applicant requests and the Review Authority grants an adjustment to allow a zero lot-line development.
	Development on all lots will maintain a minimum 15 foot setback from public road rights-of-way. Exceptions: (1) Front porches may be set back to 5 feet if the <u>porch is 8 feet deep and 10 feet wide</u> ; (2) Corner lots may have one 10-foot setback; (3) Where the Review Authority grants an adjustment.
	Any garages directly accessible from a public road will maintain a minimum setback of 20 feet from the back of sidewalk to ensure no vehicle overhang.
<i>Access</i>	
	All lots have vehicular access to a public or privately maintained road. Exception: If a lot's parking is located off-site, the off-site location must have vehicular access to a public or privately maintained road. In this circumstance, each lot must have a minimum 10-foot pedestrian accessway.
	The local fire agency has reviewed the plans and concurs that appropriate fire safety access will be provided.
<i>Workforce Housing Design Guidelines</i>	
	The development is consistent with the Workforce Housing Design Guidelines.
	The development is consistent with the Site Planning guidelines, because development will be compatible with the existing neighborhood, while also striking a balance between parking, adequate common areas, and the public realm.
	The development is consistent with the Building Design guidelines, because project features (entryways, height and massing, building facades, roof lines, and materials) are compatible with the neighborhood and of high quality design.
	The development is consistent with the Landscaping and Outdoor Areas guidelines, because landscape features delineate the public, private, and transitional areas and enhance visual interest.
<i>General Plan Compliance</i>	
	The overall project density is consistent with Land Use Ordinance and General Plan standards for the project's land use category.
	The project complies with minimum parcel size and maximum density standards established in any applicable Community Plan, Area Plan, or Design Plan.

Site Planning Guidelines

2. Site Planning



Conceptual Neighborhood Site Plan.

Source: Illustrative Design Model, San Luis Obispo County.

Site planning techniques can have a major effect on the quality of life. Workforce housing development should be both functional and aesthetically pleasing.

The Importance of Site Planning

When dealing with urban infill projects, particularly where development will occur on small lots, using good site planning techniques can have a major effect on the quality of life. Workforce housing developments should be both functional and aesthetically pleasing. To achieve this, major site planning considerations include the following:

- **Relationship to the Street:** Does the development fit in with the predominant patterns along the public road?
- **Site Layout and Circulation:** Does the project layout encourage functional use and a high quality-of-life?
- **Parking and Driveways:** Is vehicular circulation and parking appropriately addressed?

Objective 2

Design and configure housing to be consistent with the General Plan as well as any applicable Community Plan, Specific Plan, or Design Plan. Ensure that workforce housing developments, which encourage smaller housing units that are affordable by design, remain compatible with the existing neighborhood, while also striking a balance between parking, adequate common areas, and the public realm.

By meeting as many Site Planning guidelines as possible, a project is consistent with Objective 2.

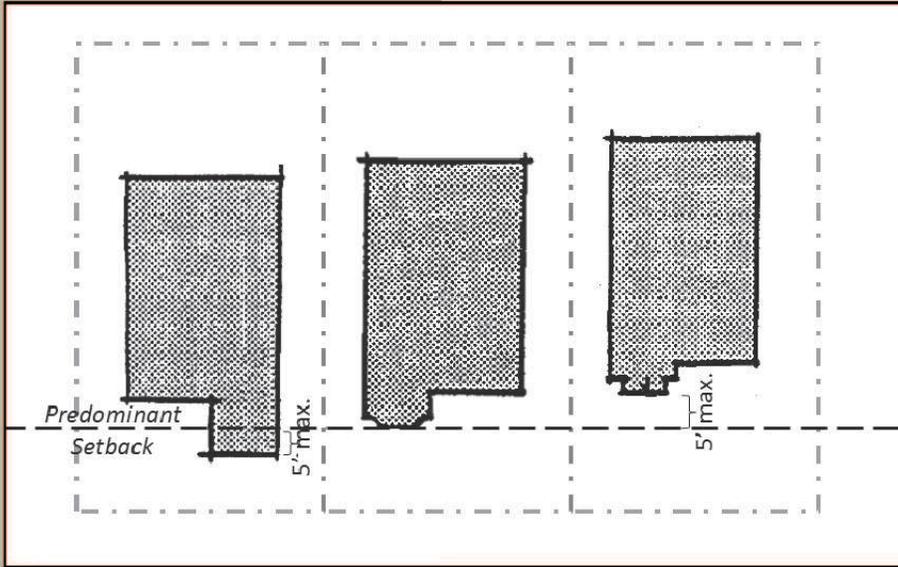


Guidelines for Site Planning **Relationship to the Street**

Guideline 2-1: Prevailing street setback. In areas with an existing prevailing street setback, align the small lot development to be consistent with this setback and provide continuity along the street edge. *Slight deviations from the setback are acceptable.*

Guideline 2-2: Varying setbacks. On residential streets with varying setbacks, the front yard setback should be within 5 feet of the average setback of adjacent properties

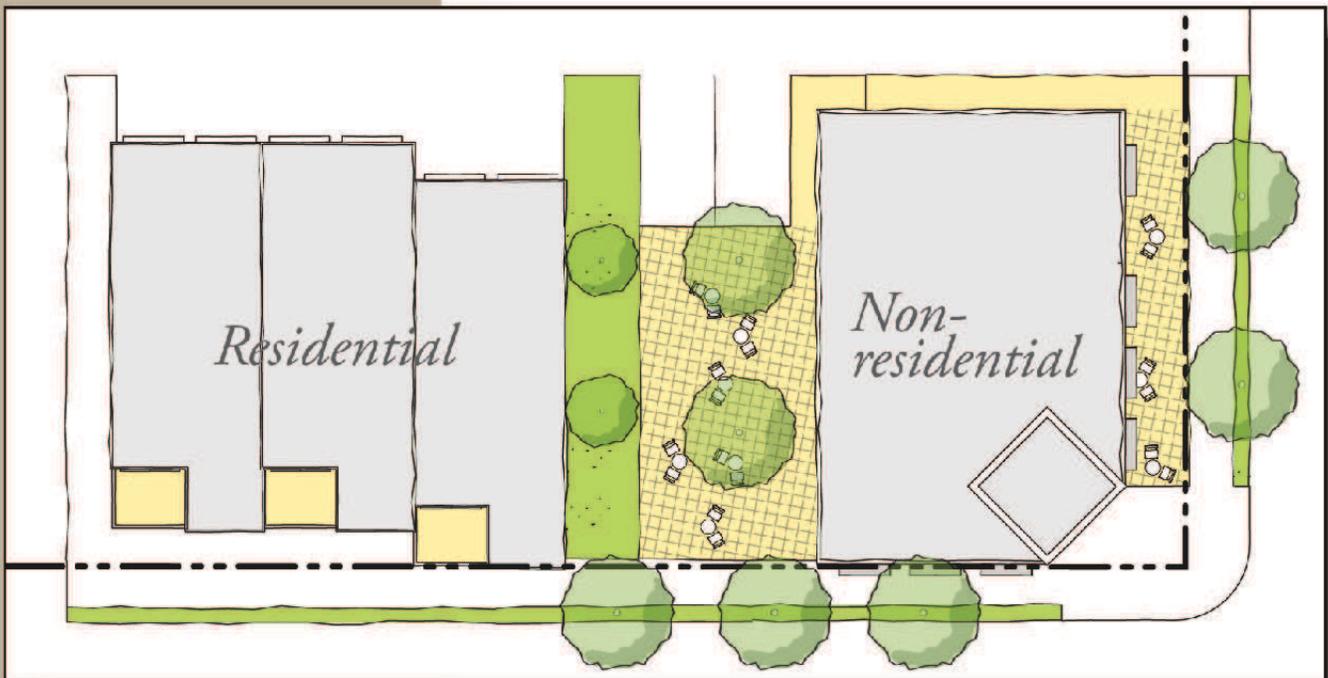
Guideline 2-3: Commercial streets. On commercial streets with a range of setbacks, small lot developments should nearly abut the sidewalk, allowing sufficient room for entry, front stoop, and some transitional landscaping. However, this is not required for dwellings with ground floor retail.



Varying the front setback on each parcel helps to create visual interest and to break up the perceived massing of development. Nonetheless, residences should be set back within 5 feet of the predominant front setback in order to maintain continuity.



Consistent with the **Relationship to Street** guidelines, residential development along a commercial street should include only enough of a front setback to allow a porch and small vegetated area.



Guidelines for Site Planning
Site Layout and Circulation

*Guideline 2-4: **Frontage.*** Configure homes to front streets, primary entryway, circulation walkways, and open spaces, rather than driveways.

*Guideline 2-5: **Pedestrian access.*** For homes not adjacent to the street, provide pedestrian circulation in the form of private walkways or clearly delineated paths of travel from the sidewalk to their entryway.

*Guideline 2-6: **Green space.*** Maximize green space while minimizing the total amount of driveway space.

*Guideline 2-7: **Alleys.*** Where possible, utilize alleyways for vehicular access.

*Guideline 2-8: **Natural features.*** Take advantage of existing topography and natural features (i.e. existing trees) to maintain appropriate grade levels consistent with surrounding structures.

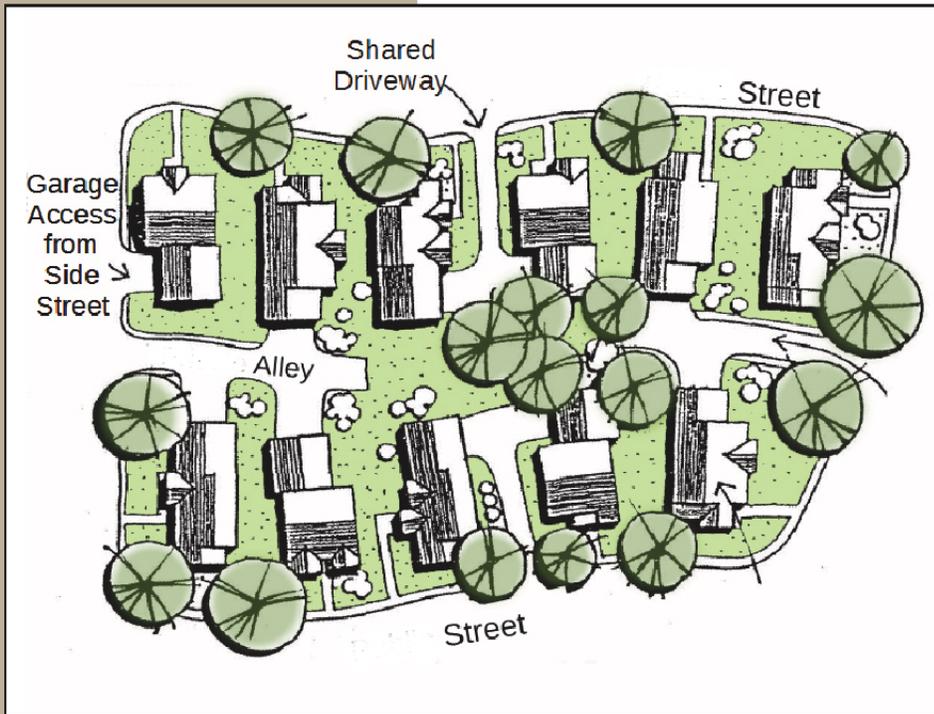
*Guideline 2-9: **Primary entrance.*** Homes fronting streets with street parking are encouraged to have the primary entrance and main windows facing the street.

*Guideline 2-10: **Decorative paving.*** Enhanced paving on private property is encouraged to mark pedestrian and vehicular entries of complexes to provide a sense of arrival.

*Guideline 2-11: **Building and outdoor area layout.*** Design floor plan layouts in relation to lot shape, width, and depth to maximize usable outdoor spaces.

*Guideline 2-12: **Pathways.*** Provide direct paths of travel for pedestrian destinations within the development. Whenever relevant, create primary entrances for pedestrians that are safe, easily accessible, and a short distance from transit stops.

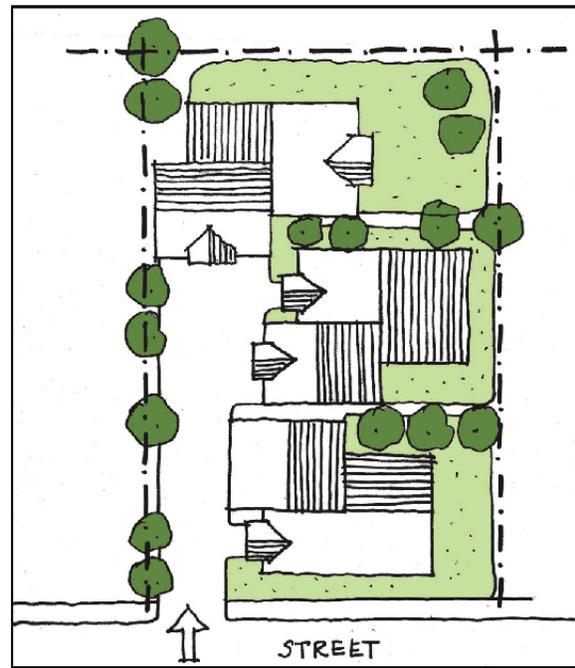
*Guideline 2-13: **Separate pedestrian and vehicular paths.*** When multiple units share a common driveway that is lined with individual garages, provide distinguishable pedestrian paths to connect parking areas to articulated individual entries.



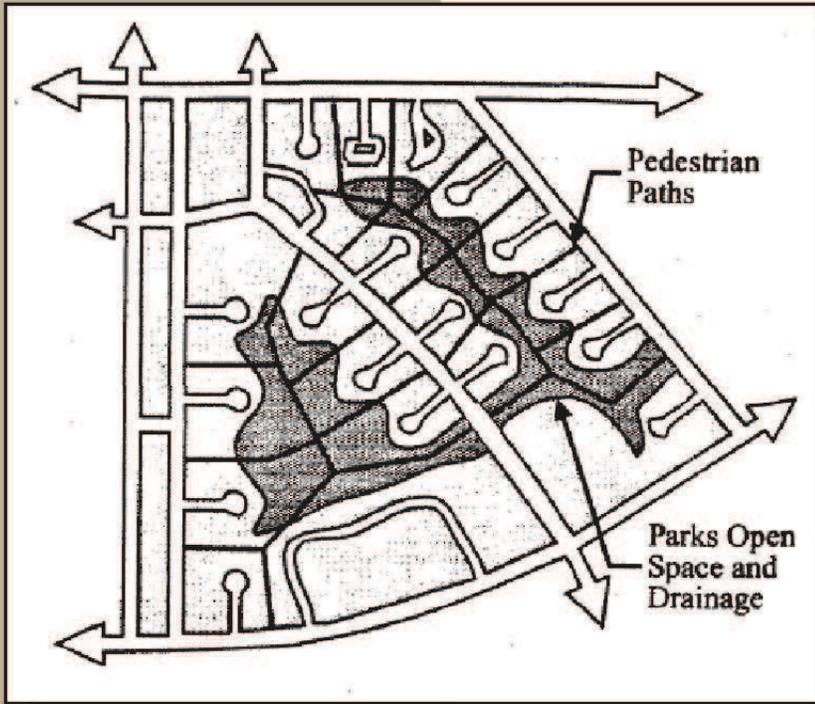
Consistent with the **Site Layout and Circulation** guidelines, this workforce housing development involves residences that front on streets, but take vehicular access from alleys and shared driveways. This design can help ensure that vehicular and pedestrian paths of travel are separated.

Preferred

Discouraged

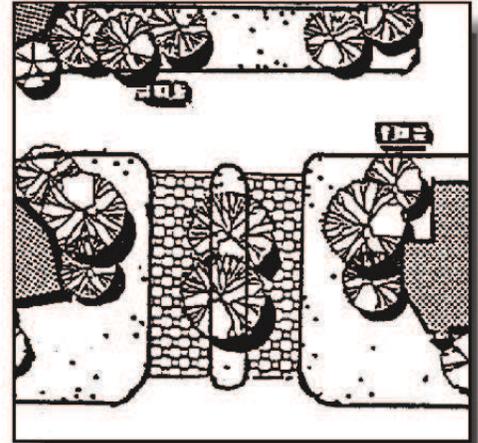


The **Site Layout and Circulation** guidelines also encourage orienting the front entrance of residences towards the street, rather than internally or towards a driveway. This approach to site design helps to integrate the residences with the surrounding neighborhood.



Pedestrian paths and circulation should be integrated into the subdivision design.

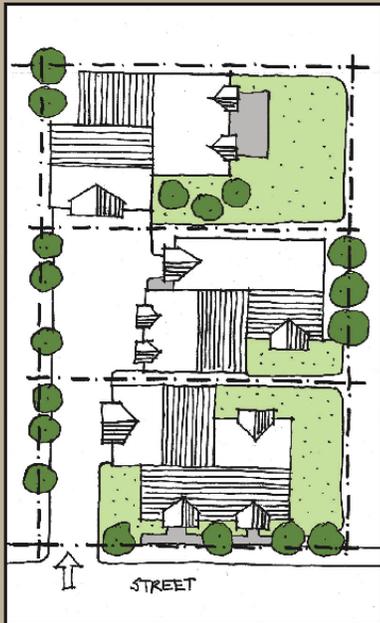
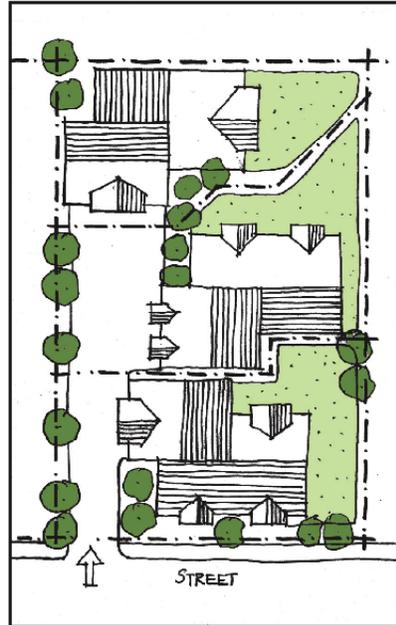
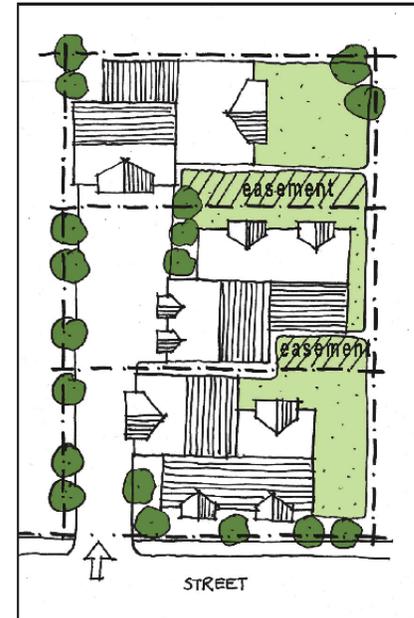
Decorative pavement treatment at the entry driveway is highly encouraged.



In this example, four residences are clustered around a common driveway. The driveway serves dual purposes for parking and common outdoor area for the residences.



Courtyard setting homes on 837 Islay Street, San Luis Obispo, CA.

#1 Discouraged*#2 Acceptable**#3 Preferred*

As part of the review of Site Layout and Circulation guidelines, the designer should consider functional use of outdoor area. The three images above illustrate different options for site layout.

Example #1 is discouraged. The front lot's outdoor area is relatively narrow. The middle lot lacks sufficient outdoor area. The rear lot's outdoor area is much larger than the other two lots.

Example #2 is acceptable. Each lot has roughly equivalent outdoor yard area. The odd shape of the lot lines, however, does limit the functional use of the yards.

Example #3 is preferred. While lot boundaries are identical to Example #1, each lot has roughly equivalent outdoor yard area. The yard area's perimeter uses right angles to provide maximum function. Exclusive use easements may be used to allow yard areas to encroach across property lines.

Guidelines for Site Planning
Building-to-Street Proportions

*Guideline 2-14: **Building placement.*** Vary building placement to increase variation in facades and more articulated building edges.

*Guideline 2-15: **Landscaping.*** Define the proper proportion private driveways through the planting of shade trees and low-growing vegetation (see Landscaping Section for further information).

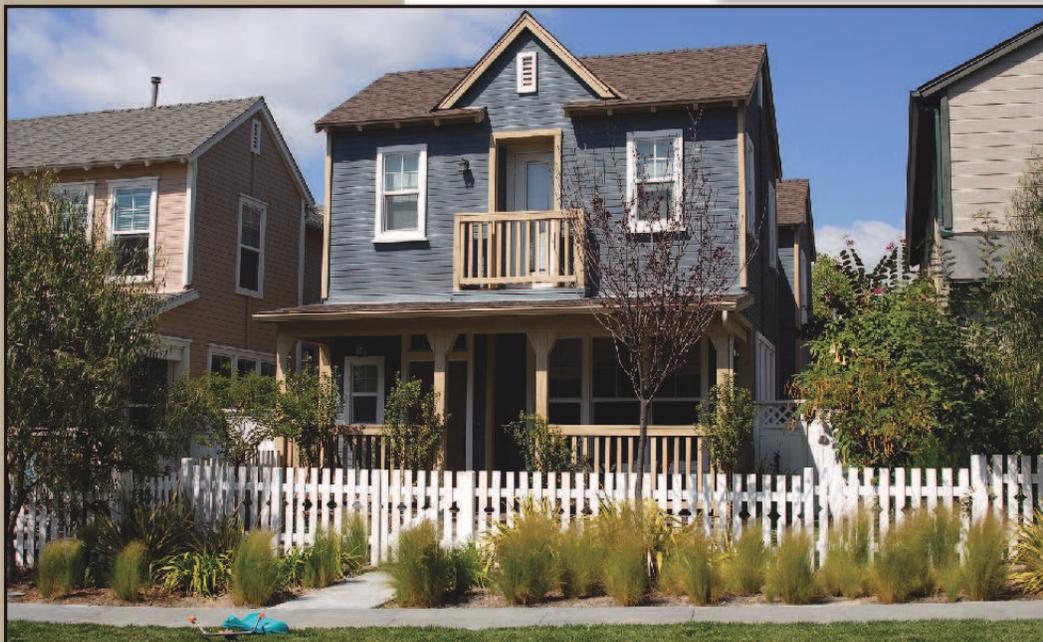
*Guideline 2-16: **Defined edge.*** Plant shade trees and ornamental plants to define the edge and increase visual interest to both the public and private realms. Avoid placing 4-foot-tall or higher shrubs immediately adjacent to the sidewalk.



*Conceptual Neighborhood Site Plan for San Miguel.
Source: Landscape Architecture Design Studio, Cal Poly University, 2014*



In these examples, landscaping is used as a tool to define the boundaries between public and private spaces



Workforce Housing

Guidelines for Site Planning Parking and Driveways

Guideline 2-17: Parking in rear. Locate parking to the rear of dwellings where homes front the public street.

Guideline 2-18: Alleys. Where available, use alleyways as access to off-street parking.

Guideline 2-19: Front driveways. If individual front driveways must be used, the setback of the building should allow for an ample amount of landscaping space and a front entryway, porch, or landing.

Guideline 2-20: Separate pedestrian and vehicular paths. Allow for a pedestrian access path separate from driveway whenever possible. When the driveway provides pedestrian access to individual dwellings, a distinguishable path should be provided.

Guideline 2-21: Driveway width. Access driveways should be designed to be no wider than circulation and backup requirements, while still allowing for landscaping and a pedestrian access path on-site.

Guideline 2-22: Multiple uses of driveway space. Space permitting, design the driveway area for multifunctional uses.

Guideline 2-23: Encroachment. Structures should limit encroachment over the driveway area to not restrict the movement of trucks.



Building Design Guidelines

3. Building Design



*Conover Commons Homes, WA
Ross Chapin Architects
Developer: The Cottage Company*

Site planning techniques can have a major effect on the quality of life.

The Importance of Building Design

As discussed in the Site Planning chapter, aesthetically pleasing design and quality of life are primary considerations in Workforce Housing. The County welcomes innovation in housing styles and architecture, and the photos and techniques described in this section are not meant to be limit creative building solutions.

- **Entryways and Front Porches:** Is the entry way to each unit clearly distinguished using design features?
- **Height and Massing:** Are the residences appropriately sized and scaled to fit in with the surroundings?
- **Building Facades:** Do residences use articulation, changes in material, and architectural features to create high quality facades?
- **Building Materials:** Are the materials both durable and decorative?
- **Roofs:** Is the roof design visually appropriate?
- **Ground Floor Commercial:** Is the ground floor of a mixed use structure appropriately designed for commercial use?

Workforce Housing

A project is consistent with the Building Design guidelines if it achieves the intent of Objective 3, while meeting as many of the guidelines as possible.

Objective 3

Develop the overall form and relationship of the buildings by focusing on neighborhood compatibility and high quality design of the following elements: entry, height and massing, building facade, roof lines, and materials.



Identifiable entryways connected to pedestrian pathways create an inviting frontage along houses (Broad Street, San Luis Obispo)

When fronting street, varied orientation of driveways and porches are encouraged at street level (Nipomo, below)



Guidelines for Building Design
Entryways and Front Porches

Guideline 3-1: **Identifiable entryways.** Primary entryways should be clearly identifiable and connected to the public street by a walkway. Individual residences should incorporate transitions such as landscaping, paving, porches, stoops, and canopies.

Guideline 3-2: **Street-facing entryways.** Homes that front a public street should have their primary entryway accessible from the street, where practicable. Garages should not take the place of the main entryway.

~~*Guideline 3-3:* **Entryways at grade.** Entryways should sit at a grade comparable to those of the surrounding structures, to the extent practical.~~

Guideline 3-34: **Lighting.** Use ornamental low-level lighting to highlight and provide security for pedestrian paths and entrances. Ensure all parking areas and walkways are illuminated.

~~*Guideline 3-5:* **Multiple entrances.** Sole entrances should be at grade level. Homes with multiple entrances may include a secondary entrance at three to five steps above grade or consistent with the average grade of existing structures.~~

Guideline 3-46: **Ground floor commercial.** Entrances that front commercial roads should allow room for a stoop and entryway and ideally some landscaped area.

Guideline 3-57: **Transitions.** Incorporate transitions such as landscaping, paving material, porches, stoops, and canopies at the primary entrance to each residence, and at the main pedestrian entrance to the development from the sidewalk.

Guidelines for Building Design
Height and Massing

Guideline 3-68: Context. Use the surrounding built environment to inform decisions about variations in height and massing.

Guideline 3-79: Height changes. Avoid excessive differences in height between the proposed development and adjacent buildings.

Guideline 3-810: Articulation and spacing. Provide sufficient space between buildings, articulation along the street frontage, and visual breaks to diminish the scale and massing.

Guideline 3-911: Scale. Small lot developments should be appropriately designed and scaled to transition from single-family properties using methods such as step backs, building placement, driveway location, variations in height, and landscape screening elements.



Scale of building elements; roof, porches, windows and outdoor structures such as pergolas should be varied to provide interesting visual elements.



Variety of complimentary materials, colors and window rhythm should be considered for achitectural treatments and features.

Workforce Housing

Guidelines for Building Design **Building Facades**

Guideline 3-~~10~~¹²: **Architectural detail.** Employ architectural details to enhance scale and interest by breaking the facade up into distinct planes that are offset from the main building facade.

Guideline 3-~~11~~¹³: **Window placement.** The placement of windows should follow a consistent rhythm to create visual clarity and character-defining features while avoiding the creation of blank walls.

Guideline 3-~~12~~¹⁴: **Windows overlooking outdoor space.** Provide windows on building facades that front on public streets, private driveways, and internal pedestrian pathways within the development.

Guideline 3-~~13~~¹⁵: **Architectural features.** Layer architectural features to emphasize elements such as porches, entries, corners, windows, and organization of units.

Guideline 3-~~14~~¹⁶: **Colors and materials.** Alternate different textures, colors, materials, and distinctive architectural treatments to add visual interest while avoiding blank facades. Said color/material/articulation should follow building mass in a harmonious manner.

Guideline 3-~~15~~¹⁷: **Facade detail.** Treat all facades of the building with an equal level of detail, articulation, and architectural rigor.

Guideline 3-~~16~~¹⁸: **Entrances and windows.** Include overhead architectural features at entrances and windows that provide shade and passive cooling.

Guideline 3-~~17~~¹⁹: **Balconies.** Design balconies so that their size and location maximize their intended use for open space. Avoid “tacked on” balconies with limited purpose or function.

Guideline 3-~~18~~²⁰: **Reduce monotony.** Reduce the monotony of undifferentiated facades through landscape screening elements, entry enhancements, and building/garage facades.

Guidelines for Building Design
Building Materials

Guideline 3-1921: Quality materials. Select building materials, such as architectural details and finishes, that convey a sense of permanence. Quality materials should be used to withstand weather and wear regardless of architectural style.

Guideline 3-2022: Details. Apply trim, metal and woodwork, lighting, and other details in a harmonious manner that is consistent with the proportions and scale of the buildings.

Guideline 3-2123: Context. Materials should appropriately respond to the neighborhood context.

Guideline 3-2224: Changes in materials. Apply changes in material purposefully and in a manner corresponding to variations in building mass.



Variety of roof lines and building materials can increase building articulation and visual interest.



Workforce Housing



*Moylan Terrace, San Luis Obispo
RRM Design Group*

Guidelines for Building Design **Roofs**

*Guideline 3-2325: **Varied roof lines.*** Integrate varied roof lines into the upper floors of residences through the use of sloping roofs, modulated building heights, gables, dormers, and innovative architectural techniques.

*Guideline 3-2426: **Multi-pitched and gabled roofs.*** Avoid excessive use of multi-pitched and gabled roofs.

*Guideline 3-2527: **Covered open space.*** Where appropriate, consider enhancing roof areas with usable open space.

*Guideline 3-2628: **Ridge location.*** Consider the design and placement of ridge locations as well as direction in relation to side yards and atriums.

Workforce Housing

Guidelines for Building Design **Ground Floor Commercial**

Guideline 3-2729: Storefront architecture and theme. Ensure that storefronts convey an individual expression of each tenant's identity while adhering to a common architectural theme.

Guideline 3-2830: Storefront windows. Design storefronts with a focus on window design to create a visual connection between the interior and exterior.

Guideline 3-2931: Window base. Incorporate traditional storefront elements by including a solid base for storefront windows. Use high quality durable materials such as smooth stucco or concrete, ceramic tile, or stone for the window base.

Guideline 3-3032: Overhead cover. Provide shelter from the sun and rain for pedestrians along the public right-of-way where the buildings meet the street. Extend overhead cover across driveways or provide architecturally integrated awnings, arcades, and canopies subject to discretionary public encroachments.

Guideline 3-3133: Awnings. Align awnings with others on the block, particularly the bottom edge of the awning. Coordinate the awning color with the color scheme of the entire building front.

Guideline 3-3234: Recessed entries. Ensure that store entrances are recessed, not flush, with the edge of the building facade to articulate the storefront and provide shelter for persons entering and exiting.



Inviting pedestrian walkways and recessed storefronts are encouraged for ground floor commercial in mixed use developments

4. Landscaping and Outdoor Areas



Careful consideration of outdoor areas and landscaping are key to creating liveable neighborhoods.

Landscaping and Outdoor Areas

Workforce housing subdivisions are one way to achieve compact infill development. This type of development requires careful consideration of outdoor areas, in order to ensure that the development is “liveable” -- i.e. that it provides for quality of life. When laying out a workforce housing subdivision, the project designer should take multiple factors into consideration.

- **Front and Common Areas:** Are front yards and common areas appropriately designed and landscaped?
- **Private Outdoor Space:** Is the private outdoor space for each residence designed for maximum function?
- **Plant Materials:** Are the planting materials used in landscaping appropriate?
- **Privacy:** Has privacy been taken into consideration in site layout and design?

Workforce Housing

A project is consistent with the Landscaping and Outdoor Areas design guidelines if it achieves the intent of Objective 4, while meeting as many of the guidelines as possible.

Objective 4

Design landscaping that delineates the public, private, and transitional areas; enhances visual interest; and utilizes native and drought-tolerant plants.

Guidelines for Landscaping and Outdoor Areas **Front and Common Areas**

*Guideline 4-1: **Water efficiency.*** Use a range of low-water and drought-tolerant plant materials and ground cover to provide visual interest in place of turf grass.

*Guideline 4-2: **Fences and shrubbery.*** Use fences and shrubbery less than 3'6" tall (2' 6" at intersections and driveways for sight distance) in areas adjacent to the sidewalk (within 5' of front lot line), and common public areas.

*Guideline 4-3: **Shade trees.*** Plant shade trees within public areas, ideally spaced between 15' and 20' apart, to screen blank building facades and shade the driveway and parking areas.

*Guideline 4-4: **Grade.*** Whenever possible, use subtle variations in grade.

*Guideline 4-5: **Parkways.*** Plant parkways separating the curb from the sidewalk with ground cover, low-growing vegetation, or permeable materials that accommodate both pedestrian movement and clearance for car doors.

Workforce Housing

Guidelines for Landscaping and Outdoor Areas **Front and Common Areas**

Guideline 4-6: Integration. Design the landscape to be integrated with the building and for the intended use of the space.

Guidelines for Landscaping and Outdoor Areas **Private Outdoor Space**

Guideline 4-7: Private space. Designate fully private outdoor space whenever possible.

Guideline 4-8: Plants. Utilize plants that can be easily modified/ maintained by residents.



Native landscaping is encouraged in outdoor areas along walkways and front porches. Landscape features such as focal planter and mix of paving materials are encouraged.



Workforce Housing

Guidelines for Landscaping and Outdoor Areas **Private Outdoor Space**

*Guideline 4-9: **Balconies and roof decks.*** Provide balconies to enhance rather than substitute for actively used common open spaces. Balconies and roof decks should be generous enough in size to create usable spaces.

Guidelines for Landscaping and Outdoor Areas **Plant Material**

*Guideline 4-10: **Mulch.*** Apply mulch in between and around plants to conserve moisture and eliminate bare earth, which can look unsightly.



Native plants and ground covers are encouraged for all public area landscaping. Private outdoor areas or walkways are encouraged to utilize ornamental native plants with varying colors, textures and sizes to create interesting spaces.

Workforce Housing

Guidelines for Landscaping and Outdoor Areas **Plant Material**

*Guideline 4-11: **Ground cover.*** Use water-conserving ground cover instead of turf grass.

*Guideline 4-12: **Invasive plants.*** Avoid invasive plant materials.

*Guideline 4-13: **Grouping.*** Plant in groupings according to water needs.

*Guideline 4-14: **Natural features.*** Incorporate existing natural features and topography.

Guidelines for Landscaping and Outdoor Areas **Privacy**

*Guideline 4-15: **Privacy.*** Windows and balconies from separate dwellings should not face or overlook each other.

*Guideline 4-16: **Windows overlooking private yards.*** Minimize the number of windows overlooking neighboring interior private yards.

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Guidelines for Landscaping and Outdoor Areas **Privacy**

*Guideline 4-17: **Privacy enhancement.*** Use translucent glass, landscaping, and screens to create privacy.

*Guideline 4-18: **Private outdoor space.*** Provide functional distances between building walls and vary height to maximize private outdoor space, light and views.

*Guideline 4-19: **Landscaping to screen walls.*** Plant trees, shrubs, and vines to screen walls between property lines. Use variations in color, material, and texture.

*Guideline 4-20: **Rooftop open space.*** Rooftop open space should be located away from the building edge to enhance privacy.