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July 2, 2015

Board of Supervisors
County of San Luis Obispo
976 Osos Street, Room 200
San Luis Obispo, CA, 93408

**Re: Board of Supervisors Appeal Hearing re Willow Creek NewCo, LLC Project
Minor Use Permit DRC2013-00028 Request for Compliance with CEQA,
Williamson Act and County Planning and Zoning Rules**

Dear Members of the Board:

This office represents Wilton Webster and Helen Webster (hereinafter “Webster”) and a group known as Save Adelaida (hereinafter collectively referred to as “Save Adelaida” and inclusive of “Webster”), with respect to the above referenced project. Save Adelaida is a group of Adelaida residents who oppose this Project. This letter is written on behalf of Webster and Save Adelaida (inclusive of Webster). This letter acts as a supplement to our April 15, 2015 letter and April 17, 2015 oral testimony to the Planning Department Hearing Officer, and our May 29, 2015 and June 1, 2015 letters to the Board of Supervisors. Webster and Save Adelaida, continue to raise serious concerns regarding the scope of the project proposed in the Minor Use Permit (“MUP”) and the segmented vacation rental structure. Save Adelaida continues to believe that the MUP and segmented vacation rentals require legally adequate environmental review and that an Environmental Impact Report (“EIR”) is required by CEQA to evaluate the whole of the project. Violations of CEQA, the Williamson Act and County regulations abound and an executive summary of them is contained in the below bullet points.

- The Williamson Act prohibits the proposed project on Applicant’s agricultural land which is subject to the Williamson Act and the Department of Conservation has so informed the County with regard to another project. Violating this prohibition also establishes a significant environmental impact under CEQA so as to require an EIR.
- The County has failed to sufficiently analyze the traffic impacts that the entire project will have on the area. The RSA conducted by Applicants is legally inadequate. The traffic impacts remain the subject of dispute among experts so as to require an EIR.
- The belated project description requires a revised initial study and an opportunity to comment.
- The County has failed to evaluate the cumulative impacts of approving such projects as proposed in the MUP and required under CEQA.
- Save Adelaida is gravely concerned about the impact this project will have on the community including, but not limited to, traffic impacts and agricultural land.

- Environmental review of sewage and water issues cannot be deferred under CEQA.
- The County authorized the demolition of the barn *prior* to this Board ruling on the MUP in violation of *Orinda Association v. Board of Supervisors* (1986) 182 Cal. App. 3d 1145. There remains a dispute among experts regarding the historical significance of the barn so as to require an EIR.
- There is an ongoing violation of due process. Webster requested a continuance of the June 2 hearing on multiple occasions, which was denied. Applicant made a request the day of the hearing, *under the same grounds as Webster*, and the continuance was granted. Furthermore, Planning Department Hearing officer Matt Janssen should not have heard the MUP matter, as he was involved with the issuance of the segmented Building Permit for conversion of a single family dwelling on site into a 7BR/6.5BA facility.
- The County has unlawfully segmented the conversion of a single family dwelling on site into a 7BR/6.5BA facility in violation of CEQA. Such piecemealing is prohibited by law. CEQA “requirements cannot be avoided by chopping up proposed projects into bite-size pieces which, individually considered, might be found to have no significant effect on the environment or to be only ministerial.” *Plan for Arcadia, Inc. v. City Council of Arcadia* (1974) 42 Cal. App. 3d 712, 726.
- The Fair Argument Standard is met and an EIR is mandated.

A. The Project is in Clear Violation of the Williamson Act

Webster argued extensively in the April 15, 2015 letter to the Planning Department Hearing Officer and the May 29, 2015 letter to this Board that the entire project – the bed and breakfast remodel *and* the Events Center Project – violates the Williamson Act. The County permitting such projects on land zoned agriculture is illegal. Indeed, the Department of Conservation (“DOC”) has weighed in on the conduct of the County of San Luis Obispo and determined that a project similar in nature violates the Williamson Act. (March 9, 2015 Department of Conservation Letter (“DOC Letter”), Ex. T). The DOC evaluated a separate Minor Use Permit DRC2013-00097 which proposed an expansion of a winery and the conversion of a main residence to a bed and breakfast with six bedrooms. *Id.* The applicant in DRC2013-00097 also requested outdoor amplified music, a restaurant, 20 special events with up to 200 guests and 3 special events with up to 500 guests. *Id.* “The Mitigated Negative Declaration determined that the proposed project is compatible with the Williamson Act. **The Department [of Conservation] is not in agreement with that determination.**” *Id.* at p. 2.

As has been previously discussed, property owners who enroll their property under the Williamson Act receive tax benefits and “restricted parcels are assessed for property tax purposes at a rate consistent with their actual agricultural and/or open space use, as opposed to potential market value.” *Id.* **“Because the Williamson Act provides a preferential tax assessment on contracted land in exchange for limiting the land to agricultural uses, any**

use other than the agricultural or open space use for which the property was placed under contract must be found to be compatible.” *Id.* (emphasis added).

While the County has the power to determine what constitutes “compatible uses” under the Williamson Act (*See* Gov’t Code § 51242), the County cannot abuse this authority.

[T]he Division supports activities of an agribusiness venture on land under a Williamson Act contract as long as the facilities and activities support and promote the agricultural commodity being **grown on the premises**. However, it **must be shown** that these uses and facilities would be inherently related to the site’s **existing agricultural operation**; and the number of attendees does not abuse the Williamson Act’s leniency in allowing counties to determine the permanent or temporary human population of the agricultural area.

(DOC Letter, Ex. T (emphasis added)).

The DOC goes on to discuss that the proposed bed and breakfast and events will bring a population increase of well over 6,000 per year. *Id.* This is similar to the proposed MUP.

The events and restaurant additions to the winery facility in this manner become akin to an event center, which is more appropriate for noncontracted land or urban land...the types and scale of the proposed events, and their associated facilities, are not consistent with the Act’s intent. As such, the Department cannot agree with the County’s determination of insignificant impact, and that the proposed uses on contracted land would be anything less than **a potentially significant impact under CEQA.**”

Id. (emphasis added). Furthermore, “[l]ax compatibility findings would defeat the intent of the Legislature to reduce the taxes on agricultural land in return for long term binding commitments on the land restricting the use to open space and agriculture.” *Id.*

The DOC letter serves, at minimum, as a cautionary warning as it applies to the present MUP Application. The present MUP proposes to bring in approximately 4,000 people (20 events multiplied by 200 people) per year - similar in numbers to the project deemed to have violated the Williamson Act. This estimation does not even include the daily visitors, 12 winemaker dinners with up to 75 people (900), the 12 “other activities” with up to 50 people (600) and the non-profit events of up to 200 people (400 or more). A closer approximation, **not even including daily visitors**, is 5,900 people per year. Thus, the MUP proposes to introduce an analogous amount of people to the property, which could have a significant impact under CEQA. The scale of the proposed increase in population introduction to agricultural land thus directly violates the intent of the Williamson Act.

Furthermore, the DOC “supports activities of an agribusiness venture on land under a Williamson Act contract as long as the facilities and activities support and promote **the agricultural commodity being grown on the premises.**” *Id.* This is NOT what the MUP is seeking. The MUP is seeking to bring on-site additional olives **and** wine grapes, which are **not presently** grown or processed on-site (the June 2, 2015 Staff Report is erroneous in stating that

grapes are processed onsite. To our knowledge, they are not and never have been. Furthermore the MND is silent on Pasolivo growing or processing wine).

In addition, the use must be incidental to the primary use of the land. An accounting should be required to determine the ratio of income from the sale of **the on-site olive products** and the anticipated income from the events center, wine maker dinners, industry events, 12 other activities and non-profit events. There is *no evidence* that this has been done to ensure compliance with the Williamson Act.

Furthermore, as the Landowners' Statement, signed by Mr. Dirk, indicates, "I acknowledge that the Department of Conservation has indicated that: Residences not incidental to an agricultural use are prohibited, and may trigger AB 1492 penalties. These may include residences for family members not involved with agricultural use, or residences constructed on contracted parcels with no commercial-agricultural use." (Ex. A, p. 4). However, Mr. Dirk repeatedly stated to the public that he intends to use the residences on the property and convert them to "upscale vacation rentals." (Ex. E). Webster has raised this contention multiple times throughout the appeal process.

As a result of the Landowners' statements (and by analogy to the DOC letter), the "remodel" to create a 7BR/6.5BA facility out of a single family dwelling constitutes a "residence not incidental to agricultural use" and violates the Williamson Act Contract and the Act itself. The County's position regarding the "remodel" is directly self-contradictory. The County first indicates that the residential remodel is a ministerial permit only and not subject to environmental review under the MUP. The County then attempts to condition the ministerial permit, which is already final and acted upon. Conditioning a ministerial permit converts it to a discretionary permit. Furthermore, even if it could impose a condition under the law, the permit is not before the Board of Supervisors and it is highly dubious for the County to believe it can retroactively apply conditions to a final, acted upon, ministerial permit. The County's attempt to avoid Webster's valid concerns regarding piecemealing and a violation of CEQA is incongruous and not allowed under the law. A ministerial permit can (and in this case must) be included in the "whole of the action [project]" proposed and be subject to CEQA when the permit is part of a larger project, as in this case. *Association for a Cleaner Environment v. Yosemite Community College Dist.* (2004) 116 Cal. App. 4th 629, 637. (Further discussed below).

The proposed MUP contains clear violations of the Williamson Act and its approval will be unlawful. Furthermore, as concluded by the DOC in its letter regarding a similar proposal, the proposed uses on contracted agricultural land would not be anything less than a potentially significant impact under CEQA. Hence an EIR is required for that reason alone.

B. The RSA Submitted by the Applicants Does Not Adequately Address Traffic Impacts

In response to the concerns identified by Webster's traffic expert, Save Adelaida and the citizens of Adelaida over traffic impacts, the applicant has belatedly had its traffic consultant OEG

conduct the legally required Road Survey Analysis (RSA)¹. Not only was this information not added to the Mitigated Negative Declaration, but its analysis is deficient. Webster's traffic expert reviewed the RSA and determined it to be inadequate.

[T]he OEG RSA does not fully address the issues of estimated trip generation for a temporary event and its cumulative impacts, the corner sight distance requirements, the roadway improvements desired under the Board of Supervisors Resolution 2008-152, including substandard roadway widths, existing trees in proximity to the travel lanes, speed and roadway curvature issues, bicycle conflicts with vehicles, parking requirements for the proposed expansion as well as for the temporary events; and mitigation fees for development. All of these questions were raised in the earlier "peer review" of the MND and remain unresolved.

(Pang Peer Review Dated June 19, 2015, Ex. U).

First, the RSA provides only approximations. "The travel lanes are approximately² 12 feet wide" [which translates to a road width of 24 feet]. (June 10, 2015 RSA from OEG). However, in taking 19 actual readings in the vicinity of the Willow Creek property, not approximations, the width of Vineyard Drive varied from 19 feet 4 inches to 22 feet 2 inches. (Ex. V). "These are substandard lane widths at this constricted location." (Pang Review, Ex. U, p. 1).

Furthermore, Webster's expert, "respectfully would disagree with the trip generation rates and the 80 peak hour trips based on 2.5 people per vehicle for a temporary event." *Id.* As outlined in Mr. Pang's previous Peer Review (Ex. F) and reiterated in his June 19, 2015 Peer Review, the more appropriate calculation is between 116 and 130 peak hour trips. (Pang Review, Ex. U, p. 1). Furthermore, the RSA provided by the applicant does not factor directional split or the increase in traffic from employees and delivery trucks. *Id.* Based on the more realistic calculations of Mr. Pang, pursuant to Resolution 2008-152, the applicant would need to improve between a quarter mile and 1 mile of the road from the entrance toward the nearest intersection. *Id.*

Mr. Pang also disagrees with the assertion that "the temporary events will occur during non-peak hours." *Id.* at p. 2. Furthermore, "20 events per year, will cause traffic impacts from a cumulative perspective since there will be an event roughly once every 2.6 weeks throughout a year (52 weeks/20 events)." *Id.* As Ms. Kirk indicated to Planning Department Hearing Officer Matt Janssen, most of the events will occur between April and October (Audio of April 17, 2015 hearing, 1 hour 18 minutes), thus concentrating the cumulative impacts during the busy season and further exacerbating the traffic impacts of the project on Vineyard Drive. The RSA also contradicts itself in discussing peak hours. "The temporary events will occur during non-peak

¹OEG attached to the RSA a Sight Distance and Speed Survey OEG had conducted in 2013 and submitted to the County; yet Webster was not provided with that document pursuant to its Public Records Act Request).

²This is but one example of the RSA making conclusory statements with no analysis or justification. The RSA should have had multiple actual and accurate measurements of the road. Another conclusory statement is that "[t]he typical number of wineries visited on a daily basis is three." RSA, p. 3. However, there is no citation or reference to where "typical number" is derived.

hours” and “[t]he count data indicated that Saturday afternoon around 3PM was the peak hour.” (RSA, pp. 1,3). Based on the latter statement, the events center will most certainly affect the Saturday peak hour trip ratio greatly. The RSA also fails to discuss the traffic impact for the delivery of off-sight olives and wine grapes in its analysis, thus making its peak hour trip analysis further flawed.

Furthermore, the RSA does not appropriately evaluate the number of collisions and near collisions on Vineyard Drive. According to the Staff Report drafted by the County Planner “Vineyard Drive has a collision rate above the county average.” (July 7, 2015 Staff Report, p. 6). Also, as indicated in numerous emails to the County opposing this Project and asking the County to genuinely consider traffic impacts, and as shown in the photos provided in the May 29, 2015 letter submitted on behalf of Webster (Ex. J), many collisions are not reported. Thus, they were not considered in the RSA. Recently there have been two fatal collisions in the area. (Email dated June 28, 2015, Ex. W, photo Ex. X). Also, “based on residents’ observations, there are many near accidents which are unreported between vehicles and bicyclists; since there are no bicycle lanes on Vineyard Drive nor are any planned for the foreseeable future, and with narrow vehicular travel lanes less than 12 feet in width and via a survey down to 9 feet widths, that issue has not been addressed.” (Pang Review, Ex. U).

Additional letters submitted to the County from neighbors also indicate a grave concern for traffic.

- “Traffic and Parking – This is a public health and safety concern. If the 200-300 wineries and olive oil venues all requested oversized tasting rooms and events similar to the current application, the infrastructure of the area would be compromised. A comprehensive planning study needs to be conducted to determine the capacity of the area while retaining our current roadway system.” Letter from Alice G. Griselle to County, Master’s of Urban Planning and 32 years as a planner, community development director, and assistant city manager.
- “The uses” have “the potential to greatly impact the area with traffic, noise, light, etc.” Letter from Glenn A. Faulk to County.
- “Vineyard is a winding country road that is dangerous to visitors that are not aware of the many curves they encounter...[t]he traffic on Vineyard includes large farm equipment being moved from one location to another, cattle and other livestock crossing the road to be moved between fields.” Letter from W. Gail Weage to County.
- “Vineyard Drive is already becoming congested with traffic and the road where they are (within 1 ½ miles of Adelaida Rd) already has a lot of traffic on it.” Email from rockingchair@wildblue.net to County.
- “[E]vents and the traffic and noise associated create a commercial environment not meant for the area.” Email from Jim Sampson to the County.

- “If this permit is granted, the area is going to be over run with hundreds of tourist, bicycles, very loud music, and serious traffic problems. Currently the roads have more traffic then ever, plus many bicyclists pose additional problems.” Email from Ginny Salesky to County.
- “The above permit is requesting an event center be built along this stretch of Vineyard drive which would cause a huge influx of traffic at all hours on a very curvy, two lane country road with blind hills and blind curves. In addition these drivers will potentially have been drinking which would cause many car accidents on this winding road.” Email from Tony Ulrich to County.
- “As a visitor and tourist, I was struck by the traffic on Vineyard Drive. Perhaps our car was slow, but the passing double yellow lines, the blind curves and the blend of motorcycles and cyclists was of concern to many in our group.” Email from Cece and Frank Walrond to County.
- “We don’t even dare ride our bikes anymore because the roads are too jammed with not very sober drivers. Adding another event center is just going to exacerbate the situation.” Email from Holly Sletteland to County.
- “I sincerely hope this project will not be allowed for several reasons....Thirdly, it would be dangerous for cyclists who enjoy riding on this country road to have 200 people driving on vineyard to attend events at Pasolivo 20 times a year. Undoubtedly these events would include alcohol which would increase the danger of people driving and cycling on the same 2 lane road.” Email from Doris Diel to County.

Case law clearly states that “[r]elevant personal observations of area residents on nontechnical subjects may qualify as substantial evidence.” *Pocket Protectors v. City of Sacramento* (2004) 124 Cal.App.4th 903, 928. “For example, an **adjacent property owner may testify to traffic conditions based upon personal knowledge.**” *Citizens Assn. for Sensible Development of Bishop Area v. County of Inyo* (1985) 172 Cal. App. 3d 151, 173. “[F]actual testimony about existing environmental conditions can form the basis for substantial evidence.” *Keep Our Mountains Quiet v. City of Santa Clara* (2015) 236 Cal. App. 4th 714, 730. There is more than sufficient substantial evidence that there are serious traffic issues on Vineyard Drive. The RSA is insufficient as it failed to sufficiently evaluate traffic collision rates. An appropriate evaluation of traffic safety is crucial for the safety of citizens and tourists that use Vineyard Drive.

Unlike the RSA assertion that there are “a few minor curves in the road,” Vineyard Drive is extremely narrow, has many blind curves and a hilly topography (as stated above by residents of the area). The RSA is insufficient because its sight distance evaluation “does not address the additional requirement for increases in the sight distance for steeper grades, and curvature of the roadway.” (Pang Review, Ex. U, p. 2). “[A] better criteria in our opinion is the utilization of the corner sight distance requirement of CalTrans and the American Association of State Highway and Transportation Officials (AASHTO),” which have a greater sight distance requirement. *Id.*

“[N]ot only is the corner sight distance NOT satisfied, it would NOT be satisfied even with the trees cut down due to the increase in sight distance requirements.” *Id.* Therefore, the table on page 5 is incorrect. *Id.* Setting the sight distance requirements at the more conservative and appropriate distances as established by CalTrans and AASHTO increases safety to citizens and tourists visiting Vineyard Drive.

Lastly, the Staff Report is misleading when it states, “The report concluded that both driveways will comply with County sight distance requirements.” (Staff Report, p. 7 referring to the RSA). In fact, the RSA states, “[t]he existing driveway meets the sight distance standards in one direction and **is slightly short by 20’ in the other direction** (with modifications). (RSA Report, p. 5). The present sight distance at the existing access does not meet the standards as used in the RSA, let alone the CalTrans and AASHTO standards. Establishing existing access which would be compliant with CalTrans and AASHTO standards is a mitigation measure which should be added to a revised CEQA document circulated for public comment for the safety of residents and tourists on Vineyard Drive.

The MND and RSA continue to remain silent on the issue of “temporary parking shortages anywhere between 75 to 87 stalls.” *Id.* at p. 3. “[P]reliminary design of the parking lots on sight has not been identified.” *Id.* All that is provided is a map of overflow parking with no actual analysis or description. This map is not sufficient to determine where and how much overflow parking will be provided.

It is clear that the traffic impacts remain the subject of dispute among experts so as to require an EIR. *City of Carmel-by-the-Sea v. Board of Supervisors* (1986) 183 Cal.App.3d 229; *Keep Our Mountains Quiet v. County of Santa Clara* (2015) 236 Cal. App. 4th 714; Title 14 Cal. Code Regs (“CEQA Guidelines”) 15064(g).

Lastly, the RSA as written creates an element of confusion and grave concern to Save Adelaida. The RSA discusses “six winery pick up/industry events with up to 200 people;” “[u]p to 12 winemaker dinners with up to 75 people;” “[u]p to 12 other activities with up to 50 people;” “[n]on-profit events may be held twice a year with an estimated 200 guests.” RSA, p. 2. These statements have blindsided Save Adelaida and are new information. There are no conditions that prohibit the winery pick up/industry events being **in addition** to the already proposed 20 events with up to 200 people. If allowed, this once again drastically increases the scope of the project. Furthermore, the 12 winemaker dinners with up to 75 people has **never** been proffered as part of the MUP Applicant’s Project Description in the Initial Study and is not within the scope of permitted small scale events. The winemaker dinners have **never** been discussed in the Pasolivo project proposal or the MND. This information was only iterated in the Staff Report that came out to the public on July 1, 2015. This information is not even in the newly updated project proposal. This leaves several questions unanswered. Is there another separate permit pending for such events? If so, the County is once again permitting piecemealing of environmental review in direct violation of CEQA. What will the 12 activities be with up to 50 guests? What prohibits any of these dinners or activities from being concurrent with the 200 attendee events? *See* 14 CCR 15063(d) which requires a brief description. “A project description that omits integral components of the project may result in a failure to disclose all the impacts of the project.” *Santiago County Water Dist. v. County of Orange* (1981)

118 Cal. App. 3d 818, 829. Here, the project description has become a moving target. Further environmental analysis is absolutely mandatory if *any* of the proposed uses are anticipated.

Therefore, the RSA conducted by applicants is wholly insufficient to remedy the legally inadequate analysis of traffic and parking impacts. A more thorough and appropriate traffic analysis is required in an EIR which allows members of the public comment and have their comments responded to in writing to ensure the safety of citizens and tourists on Vineyard Drive.

C. Belated New June 11, 2015 Project Description Requires Revised Initial Study and Opportunity to Comment

On June 11, 2015 the Applicant submitted a new Project Description (aka "Proposal"). "[A]n accurate, stable and finite project description is the *sine qua non* of an informative and legally sufficient EIR." *County of Inyo v. City of Los Angeles* (1977) 71 Cal. App. 3d 185, 199. The same is true of an Initial Study. Yet, Applicant has now provided an unstable, confusing and inaccurate project description for the reasons described below, among others. The Project Description must be made accurate, stable and finite once and for all and the public and affected agencies and County departments given 30 days to review and comment on it.

The updated Project Description is inaccurate because it does not mention the additional proposed events as outlined in the June 10, 2015 RSA and the July 1, 2015 Staff Report – *i.e.* the winery pick up parties with up to 200 people, the winemaker dinners with up to 75 people, the other activities with up to 50 people and the non-profit events with up to 200 people. Nor are these additional events mentioned in the Initial Study/MND being presented to the Board of Supervisors on July 7, 2015. All of the events/dinners/activities should have been disclosed at the initial part of the application process for there to be legally adequate environmental review in the Initial Study which is the basis of the MND. Instead, County has disclosed the new events/dinners/activities at this extraordinarily late hour in the process.

The new Proposal calls for all amplified "music" to be indoors. It is unclear whether this includes amplified speech (toasts, etc.) and other amplified sounds. The Proposal is silent regarding the amplified voices of DJ's, wedding guests and hosts. Thus, this seeming concession is not in fact a concession at all. Furthermore, there is no information regarding non-amplified bands and there is no information regarding guest crowd noise and the impacts on the surrounding neighbors. Also the question remains as to whether the amplified music indoors is limited to 5:00 p.m., 9:00 p.m. or any other specified hour.

Furthermore, the new Proposal states there will be "(new) project site disturbance" that "involves 3.5 acres." (Pasolivo Proposal, p. 4). Given the area of new disturbance, a revised Initial Study is required.

D. Cumulative Impacts

The MND has failed to account for cumulative impacts in two ways. First, the County has engaged in illegal and improper piecemealing by issuing a building permit for a 7BR/6.5BA

facility separate and apart from the MUP before the Board today. Second, the MND failed to analyze the cumulative impacts of all the surrounding and reasonably foreseeable area projects in conjunction with the proposed project. The Initial Study is fatally flawed for this reason as well. It is clear that if consideration were given to cumulative impacts, an EIR is mandated in this case.

“An EIR must be prepared if the cumulative impact may be significant and the project’s incremental effect, though individually limited, is cumulatively considerable.” Cal. Code Regs. §15064 (h)(1). “‘Cumulative impacts’ refer to two or more individual effects which, when considered together, are considerable or which compound or increase other environmental impacts.” 14 Cal. Code Regs. §15355. “The cumulative impact from several projects is the change in the environment which results from the incremental impact of the project when added to other closely related past, present, and reasonably foreseeable probable future projects.” 14 Cal. Code Regs. §15355(b). “Cumulative impacts can result from individually minor but collectively significant projects taking place over a period of time.” 14 Cal. Code Regs. §15355(b). “The full environmental impact of a proposed [] action cannot be gauged in a vacuum.” *Whitman v. Board of Supervisors* (1979) 88 Cal. App. 3d 397, 408-09; *Akers v. Resor* (W.D.Tenn. 1978) 443 F.Supp. 1355. “An agency may not . . . [treat] a project as an isolated ‘single shot’ venture in the face of persuasive evidence that it is but one of several substantially similar operations, each of which will have the same polluting effect in the same area.” *Whitman v. Board of Supervisors, supra*, 88 Cal. App. 3d at 408-09 (quoting *Natural Resources Defense Council v. Callaway* (2d Cir. 1975) 524 F.2d 79.) Ignoring prospective cumulative effects “could be to risk ecological disaster.” *Id.*

Because the MND fails to address cumulative impacts, it violates CEQA.

E. The Residents of Adelaida and Save Adelaida Strongly Concur with Webster’s Concerns that the Project Will Change the Entire Adelaida Area

Webster has presented extensive information regarding its concern that the Pasolivo Project will change the nature of the Adelaida area in the letter to the Planning Department Hearing Officer April 15, 2015 and the letter to this Board dated May 29, 2015. Webster is not alone in these worries. Many residents who have banded together as Save Adelaida echo the concern regarding the change in nature of the property, cumulative impacts, traffic impacts (as described above), destruction of the historical barn, and concerns regarding water consumption.

- **Barn** - “I am writing you in order to respectfully request that you reconsider the permit to demolish the Adelaida Barn. Once this barn is removed it cannot be replaced and it provides an important glimpse into the history of our State and specifically the county that once was such a thriving dairy stronghold. Preservation of this important historical landmarks will provide educational opportunities for future generations. Removal of the barn will **irrevocably change the character** of the area. I sincerely hope you consider saving the barn and preserving the character of this area.” Email from Gage Dayton, Phd. to County (emphasis added).
- **Barn** – “Pasolivo is the property which has requested the destruction of one of our last and rarest architectural gems in this area which I lovingly call home. I argue that this is

one of the last remaining buildings preserving our local identity!...When I received notice of the possible demolition of this historic barn I felt it necessary to voice some of my concerns and explain why this should NOT happen and take action against it!" Email from Aleah Koury to County.

- **Cumulative Impacts** – “My husband and I purchased our property...in 1982 expecting to live out our days in a quiet rural area, away from the hustle and bustle of city life. Since that time, our area has been inundated with more and more wineries having special events. I realize the vineyards are still agriculture, but the many use permits issued for the wineries has increased every year. This latest request for a permit to have an event center **is the straw that broke the camels back.**” Email from Wanda G. Weage to County (emphasis added).
- **Cumulative Impacts/Traffic Safety** – “As each year passes, residents have watched as other local businesses and wineries have ‘improved’ and built out their properties in this immediate area. Opolo, Hammer Sky, Brecon, Thatcher, Halter Ranch, Tablas Creek, and several other wineries not mentioned have all followed suit in their desire to draw the tourist dollar. All of the mentioned businesses and many more are within a 2 mile radius of Pasolivo. I think you can understand that we are reaching our saturation level when it comes to operating businesses which require their patrons to use Vineyard Drive.” Email from Aleah Koury to County.
- **Cumulative Impacts/Traffic Safety** – “Imagine three or four more such venues out here. Imagine tourists that are drowsy from wine tasting and bicyclists out for a ride. Now add to that 1000 more people headed out to events on these roads.” Email from Kim Routh to County.
- **Traffic Safety** – “Vineyard Drive is first and foremost a two lane limited artery serving local residents, farmers and ranchers....Make no mistake, for all of its beauty this road is unforgiving and demands a driver’s full attention. The many curves, intersections, steep embankments, lack of lighting at night, Winery driveways and other less considerate drivers make this road challenging for residents that must drive it daily....Unless unavoidable I choose not to drive on Vineyard Drive on the weekends due to traffic, the increasing drunk drivers, inconsiderate tourists and the influx of cyclists and bikers....As traffic levels rise, so does the mortality rate of wildlife in the area.” Email from Aleah Koury to County.
- **Traffic Safety** – “This brings me to the next issue which directly deals with human deaths and injuries on or near our road in recent months....I have personally witnessed accidents but have witnessed near misses too.” Email from Aleah Koury to County.
- **Traffic Safety** – “These roads are narrow, unforgiving and, as witnessed **again** just last week, can be fatal. Every year that goes by there is more traffic and noise.” Email from Kim Roth to County.
- **Traffic Safety** – “Vineyard drive is already becoming congested with traffic and the road where they are (within 1 ½ miles of Adelaida Rd) already has a lot of traffic on it.” Email from Bill Dodd to County.
- **Traffic Safety** – “Traffic and Parking – this is a public health and safety concern. If 200-300 wineries and olive oil venues all requested oversized tasting rooms and events similar to the current application, the infrastructure of the area would be compromised. A comprehensive planning study needs to be conducted to determine the capacity of the area while retaining our current roadway system.” Email from Alice Griselle to County.

- **Traffic Safety** – “The above permit is requesting an events center be built along this stretch of Vineyard drive which would cause a huge influx of traffic at all hours on a very curvy, two lane county road with blind hills and blind curves. In addition these drivers will potentially have been drinking which would cause many car accidents on this winding road.” Email from Toni Ulrich to County.
- **Change in Nature** – “**I feel the County’s aggressive approach to ‘agri-tourism’ has eroded the intent of land use under agricultural zoning and is beginning to make the west side a light industrial and commercial zone, with small hotels, bed and breakfasts...events centers, endless vacation rentals, etc...all of which I am sure is not in the spirit of the agricultural zoning....**I cannot blame Pasolivo for applying for this, but I do blame the county for continuing to allow the array of commercial activities to take place on agricultural land, which are slowly eroding what makes this area special.” Email from Kim Lindbery to County.
- **Change in Nature** – “The application is too commercial for a property in the agricultural and rural residential designations.” Email from Alice Griselle to County.
- **Change in Nature** – This proposed project is “benefiting few business interests while harming the agricultural-residential ambience and the rural quality of life many of us enjoy.” Email from Larry Stone to County.
- **Change in Nature** – “Having a multi-purpose events center build in place of a historical landmark seems out of place and insensitive to our way of life.” Email of Aleah Koury to County....It is so juxtaposed to our lifestyle and our sensibilities....especially on a sale of this magnitude.” Email from Aleah Koury to County.
- **Change in Nature** – “[D]o they really need to have 25 events a year with amplified music to sell olive oil? I suspect the use of the property would no longer be primarily agricultural.” Email from Kim Routh to County.
- **Change in Nature** – this project is “tantamount to ‘spot zoning’ for individual properties. Why do we even have zoning regulations if they are to be ignored by the County??” Email from Cody Ferguson to County.
- **Change in Nature** – “I am concerned that growth and development can reach a saturation point where negative impacts begin to eat away at the positive....Unchecked growth an adversely affect the quality of life, whether in the city or out in the county.” Email from Kathy Stone to County.
- **Change in Nature** – “[T]he annual potential for 5000 attendees with all the event support staff in conjunction with a seven day a week olive oil tasting room is a commercial venue in an agricultural and rural residential land use and zone....Pasolivo should be primarily an agricultural use and not a tourist destination first. Weddings and rehearsals do not support he agricultural use.” Letter from Glenn Faulk to County.
- **Change in Nature** – “The proposed event center at 8530 Vineyard Drive would definitely change the zoning for this area and be a detriment to beautiful and peaceful countryside....I also believe an event center of this size is in direct opposition of the Williamson Act provided for the agricultural community” Email from Gail Weage to County.
- **Change in Nature** – “this is an emphatic NO on a permit for an event center at pasolivo its not AG its not residential. Its something to be built in a commercial district....otherwise what good is zoning?” Email from Dorian Michael to County

- **Water** – “The Vineyards, of course, have been the major change and that has caused the water aquifer to recede to the point of my having lost many of my walnut trees due to lack of water required for dry farming.” Email from Gail Weage to County
- **Overall Impacts** – “Anecdotal evidence suggests that the damaging effects of light pollution, excessive water use, excessive noise, and excessive traffic created by these events are exacerbated by a lack of enforcement of current codes and ordinances.” Email from Larry Stone to County

Therefore, it is abundantly clear that the community of Adelaida does not want this project to be approved because it perpetuates the change in nature of the entire community and issues such as traffic and water are not sufficiently addressed either individually or cumulatively.

F. Sewage/Water

The new Pasolivo Proposal actually increased the estimated amount of water consumption from 137,450 gallons of water annually to 151,250 gallons of water annually. This alone requires a revised Initial Study. (Pasolivo Proposal, p. 6). **This number is still flawed because it only evaluates the proposed 20 events with up to 200 guests.** The project **continues to fail** to appropriately and accurately evaluate the increased consumption of water from the “remodel” which is still not included in the Proposal as part of the Project. Assuming, *arguendo*, that the remodel is in fact for a single family residence, the previous structure did not contain 7 bedrooms and 6.5 bathrooms. Assuming double occupancy, this can be 14 people or more occupying the resulting structure at one time – that is an inordinate amount of showers and flushing that the Initial Study did not consider. Again, this number is only evaluating the 20 events of up to 200 people. However, as is *newly* shown in the Staff Report, there will be at **minimum** a total of 46 events allowed. **At minimum, the water consumption of 26 of those events is not accounted for!**

The County continues to evade a thorough upfront assessment of the environmental impacts of the *entire project’s* water consumption. While the applicant states there is enough water, there is still insufficient information that such water is potable. “**Prior to holding any temporary events**, the applicant shall contact the Environmental Health Department to verify water supply adequacy and potability as for the proposed project.” (Staff Report, Attachment 1, p. 10). CEQA requires analysis of environmental impacts prior to approval of a project. The MND here fails to meet that requirement. *See Sundstrom v. County of Mendocino* (1988) 202 Cal. App. 3d 296, 307. Just as the MND defers environmental review of both wastewater and water use, the *Sundstrom* court held that the County improperly delegated responsibility to assess environmental impacts by directing the applicant to conduct hydrological studies subject to the approval of planning commission staff. An EIR is required in this case as it would “provide public and governmental decisionmakers with detailed information on the project’s likely effect on the environment, describe ways of minimizing any significant impacts, point out mitigation measures, and identify any alternatives that are less environmentally destructive.” *County of Santa Cruz v. State Board of Forestry* (1998) 64 Cal. App. 4th 826, 830.

The MND and Staff Reports are therefore legally insufficient and an EIR should be performed.

G. A Demolition Permit Should Not Have Been Considered or Approved Prior to This Board's Determination

It is unlawful for the County of San Luis Obispo to have approved a demolition permit for the agricultural barn, which is one segment of the MUP presently before this Board. *Orinda Association v. Board of Supervisors* (1986) 182 Cal. App. 3d 1145. "The demolition was a phase of the overall Project; as such it was subject to the same CEQA review **as the rest of the project**, and the **demolition permit could not be issued** until the entire CEQA process was completed and the overall Project lawfully approved." *Id.* at 1160. Petitioners Wilton Webster and Helen Webster sought the intervention of the Court to restrain and enjoin the applicant from demolishing the historical barn pursuant to permit PMT2014-02536 approved by the County. The demolition of the barn is currently proposed in the present MUP. "The project includes: Phase II Demolition of an existing agricultural barn." (MND, p. 2). The barn is one piece of the entire Pasolivo Event Center project and it is unlawful for the County to approve the demolition permit before environmental review of the entire project is complete.

It was Webster's counsel's due diligence that found out that the barn demolition permit was approved on May 7, 2015. Webster immediately filed, and received a Temporary Restraining Order from the Court prohibiting the demolition of that barn. (Ex. Y). What was even more disturbing was the fact that the applicant's attorney represented to the Court the week of May 11, 2015 that the applicant had intended to demolish the barn **later that week**. Thus, but for Webster filing and obtaining a TRO, the barn would have been demolished before the Board of Supervisors had the opportunity to consider the wealth of information provided that clearly establishes a dispute between experts regarding the historic nature of the barn and triggers further environmental review under CEQA.

H. Applicant's Public Claims that Webster is Acting in a Vindictive Manner are Incorrect and Applicant's other Representations to the Public are Incorrect

Webster's son and daughter-in-law sent out a mailer to the Applicants neighbors in an effort to raise awareness regarding the Pasolivo MUP and overall project. (Mailer, Ex. Z). (It is worth noting that, despite the County asserting it has properly re-noticed those around the Willow Creek property, many of the individuals that responded to the letter still had no notice of the project and pending permit.) The letter expressed the same concerns Webster has been expressing to the County throughout the entire appeal process. The letter was neither inflammatory nor insulting against Pasolivo.

In response, Applicant sent out an inflammatory letter to the neighbors sometime in late May. (Pasolivo Mailer, Exhibit AA). The letter makes many erroneous statements. The letter first accuses Webster of filing two law suits, one of which has been overruled. *Id.* This is untrue. Webster has filed a single law suit and had a Temporary Restraining Order granted because the County approved a barn demolition permit for the barn **prior to this Board** making a

determination regarding the MUP. Webster found out about the Applicant's attempt to prematurely demolish the barn and immediately filed for, and was granted a Temporary Restraining Order. (Ex. Y) The letter goes on to state, "we were pretty blindsided by the Webster's since they had not previously indicated opposition nor have they ever contacted us to address their concerns – they just started filing lawsuits." (Pasolivo Mailer, Ex. AA). The letter further makes misstatements regarding the "corporate owners" as being Brian Dirk. *Id.* However, it is abundantly clear that it is Willow Creek, LLC that is the owner and Mr. Dirk is a member of its Board.

Webster has expressed concern over the proposed project since October of 2013. In an email dated October 28, 2013 (Ex. BB) from Karen Nall to Holly Phipps, Ms. Nall writes

Hi Holly

Can you call this gentleman and let him know the application at Pasolivo is in. He is a neighbor who is concerned about **traffic and large events** – I told him I would let him know when the application came in and make sure he is noticed of the hearing. He got the pre-notice so is somewhat informed of the application.

Thank you.

Id. (emphasis added). Mr. Webster again contacted the County in August, 2014 regarding his opportunity to be heard regarding the Project. (Ex. CC). "Holly, I spoke to Mr. Webster and he was glad to know he'd still have an opportunity to speak on this matter when it's scheduled for hearing. He wants to make sure he gets a notice of that hearing. His name is Will Webster." *Id.* Thus, it is readily clear that Webster has been concerned, and remains concerned, about the traffic and large events (among many other things) pertaining to the Pasolivo Project.

Furthermore, it is apparent that the letter from Pasolivo drafted by Hillary Trout was intentionally misleading in an effort to garner support for the project. An email to the County received by rockingchair@wildblue.net states, "I do have slight issue with "events" being held on the property. I spoke with Hillary Trout and she told me they would **only have cooking classes and perhaps some acoustical music**. She also reminded me that they have **NO** permit for alcohol so they can't serve wine etc." This is blatantly contradictory to the proposed MUP and project.

I. The County Continues to Violate Citizen's Due Process

Webster has felt, and continues to feel, that the County has catered to the Applicant throughout this process. Webster has made earnest attempts to work with the County and Applicant, only to have a scheduled meeting between all parties cancelled at 4 p.m. the day before.

1. There has been Disparate Treatment Regarding the Request to Continue the June 2, 2015 Hearing

Webster issued a *Subpoena Duces Tecum* for documents along with a Notice of Deposition for two individuals to turn over the requested County documents. On May 20, 2015, the County produced thousands of *additional* pages of documents missing from the initial documents provided under the Public Records Act request. We received these documents in CD format on May 26, 2015. On May 21st, Webster's counsel had a phone conference with County Counsel to which we asked the Board meeting to be continued. This request was not granted. In emails dated May 26 (Ex. DD) and May 27, 2015, Webster's counsel again requested to continue the matter in an effort to hold a settlement meeting. (Ex. EE). These requests were also denied. (Ex. DD and EE).

In the letter dated May 29, 2015 to this Board, Webster again contended that providing Webster with thousands of pages of documents one week before the Board of Supervisors hearing deprived Webster of a fair hearing and requested a continuance of the matter.

On June 2, 2015, the date of the Board of Supervisors hearing, at 8:24 a.m., Webster's counsel received an email with a letter from Willow Creek Representative requesting a continuance *for precisely the same reason Webster requested a continuance by phone on May 21st and in its May 29 letter to this Board of Supervisors.* (Ex. FF). In contrast to the numerous denials from the County regarding Webster's request, the applicant's request was granted.

2. Hearing Officer Matt Janssen Should Not Have Ruled on the MUP

On April 17, 2015 Planning Department Hearing Officer Matt Janssen approved the MUP. In a letter dated April 15, 2015, Webster's counsel informed Mr. Janssen of their concern regarding the issuance of a building permit for a "remodel" creating a 7BR/6.5BA facility (referred to by Applicant's representative as a bed and breakfast) and the failure to evaluate the impacts of remodel as part of the whole of the project under CEQA in the review of the MUP Application. April 15, 2015 letter, p. 2. It came out in the hearing that Mr. Janssen actually participated in the approval of that permit. April 17, 2015 hearing, audio at 30 minutes 45 seconds, Jaime Kirk says, "I'll touch on the **bed and breakfast**...I think Mr. Janssen you and I actually had discussions about this during the building permit process." Mr. Janssen's involvement is further confirmed in the deposition of Elizabeth Szwabowski at page 40. (Ex. B. Please also see Ex. GG for the exhibits utilized in the deposition of Elizabeth Szwabowski and Cheryl Journey, Ex. HH). When asked who Ms. Szwabowski emailed regarding her concerns that the remodel was for a motel and not a single family residence and should be part of the MUP Application, she states, "To Holly, Steve Hicks, Cheryl Journey, and Matt Janssen." *Id.* Thus, Mr. Janssen actually participated in the evaluation of the building permit that Webster contests and believes is a remodel from a single family residence to a motel, bed and breakfast or vacation rental, in violation of the County land use, planning and zoning laws and the Williamson Act. Mr. Janssen thus had a conflict and should have recused himself from hearing the matter. Therefore, Webster was once again deprived of a fair hearing and due process.

J. The County has Engaged in Piecemealing in Violation of CEQA

As Webster has contended since the outset of this process, the County has engaged in piecemealing in violation of CEQA and its own land use regulations. By issuing a permit for a “remodel” and failing to evaluate the bed and breakfast³ with the remainder of the project, the County has engaged in segmentation. Furthermore, even *if* the property will not be used as a bed and breakfast, the remodel occurred at the same time and in parallel to the MUP process. The remodel is on the same property. The remodel greatly expands the scope of use of the property and thus should have been evaluated under the MUP. Yet to this day the conversion of this structure into a 7BR/6.5BA facility is being segmented from the MUP Application Project Description and Initial Study.

To add insult to injury, the County authorizing a demolition permit for the barn is in direct violation of the holding in *Orinda Association v. Board of Supervisors* (1986) 182 Cal. App. 3d 1145. “The demolition was a phase of the overall Project; as such it was subject to the same CEQA review **as the rest of the project**, and the **demolition permit could not be issued** until the entire CEQA process was completed and the overall Project lawfully approved.” *Id.* at 1160.

Under CEQA Guidelines, a “project” is “the whole of an action, which has a potential for resulting in either a direct physical change in the environment, or a reasonably foreseeable indirect physical change in the environment . . .” (Guidelines, § 15378, subd. (a), italics added.) *Association for a Cleaner Environment v. Yosemite Community College Dist. (Yosemite)* (2004) 116 Cal. App. 4th 629, 637. “Addressing what constitutes a project for purposes of CEQA, the Supreme Court has stated that CEQA is ‘to be interpreted in such manner as to afford the fullest possible protection to the environment within the reasonable scope of the statutory language.’ (*Friends of Mammoth v. Board of Supervisors* (1972) 8 Cal.3d 247, 259 [104 Cal. Rptr. 761, 502 P.2d 1049].)” *Id.* “[T]he whole of an action’ must be considered in determining whether or not a ‘project’ exists.” *Yosemite, supra*, 116 Cal.App.4th at 638. As has been clearly argued by Webster, the so-called “remodel” is quite obviously part of the whole of the action and should have been evaluated under CEQA. Indeed, Applicant acknowledged as much to the local media as shown in Exhibits D and E).

The Applicants and County contend that the building permit is ministerial and thus not subject to CEQA. That is not the law. Furthermore, the argument that the demolition permit for the barn is ministerial and thus not subject to CEQA is directly contradictory to established case law. A ministerial permit cannot be approved separately from the remainder of a project. “If demolition could be segregated from other development activities and made nonreviewable, the

³During the April 17, 2015 public hearing before the Hearing Officer, the Applicant’s representative Jaime Kirk referred to the “remodel” approved by a separate Building Permit multiple times as a “Bed and Breakfast” or “B and B.” This “remodel” created a 7 bedroom/6.5 bath structure out of an existing single family dwelling and was approved two weeks before the MUP was first approved by the Hearing Officer.

requirements of CEQA would be avoided altogether, and the statute would have no effect.” *Orinda Association v. Board of Supervisors* (1986) 182 Cal. App. 3d at 1172. CEQA “requirements cannot be avoided by chopping up proposed projects into bite-size pieces which, individually considered, might be found to have no significant effect on the environment or to be only ministerial.” *Plan for Arcadia, Inc. v. City Council of Arcadia* (1974) 42 Cal. App. 3d 712, 726. CEQA clearly states that a project may not be divided into smaller projects in order to evade environmental review. As stated in *Katzeff v. Department of Forestry & Fire Protection* (2010) 181 Cal.App.4th 601, 611, “an applicant cannot avoid environmental review of a portion of a larger project simply by securing a separate ministerial permit, particularly where the permit would undo the protective effects of conditions imposed on a project’s approval.” *Id.*

K. The Fair Argument Standard is Met and an EIR Shall be Required

As argued in the May 29, 2015 letter submitted on behalf of Webster, the Fair Argument standard is clearly met and an EIR is legally required. An EIR is required whenever “substantial evidence in the record supports a fair argument that significant impacts or effects may occur.” *City of Arcadia, supra*, 135 Cal. App. 4th at 1421.

Under the fair argument standard, “deference to the agency’s determination is not appropriate and its decision not to require an EIR can be upheld *only when* there is no credible evidence to the contrary.” *Sierra Club v. County of Sonoma* (1992) 6 Cal.App.4th 1307, 1318; *see also, Stanislaus Audubon Society, Inc. v. County of Stanislaus* (1995) 33 Cal.App.4th 144; *Quail Botanical Gardens v. City of Encinitas* (1994) 29 Cal.App.4th 1597. Evidence supporting a fair argument need not be overwhelming, overpowering or uncontradicted. *Friends of the Old Trees v. Department of Forestry and Fire Protection* (1997) 52 Cal.App.4th 1383, 1402. Instead, substantial evidence to support a fair argument simply means “information and reasonable inferences from this information that a fair argument can be made to support a conclusion, even though other conclusions might also be reached.” 14 Cal. Code Regs § 15384; *Pocket Protectors v. City of Sacramento* (2004) 124 Cal. App. 4th 903, 927-928; *League for Protection v. City of Oakland* (1997) 52 Cal. App. 4th 896, 905. Evidence supporting a fair argument triggers preparation of an EIR regardless of whether the record contains evidence in support of an agency’s decision. *See, League for Protection of Oakland’s etc. Historic Resources v. City of Oakland* (1997) 52 Cal.App.4th 896; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296, 310; *Architectural Heritage Association v. County of Monterey* (2004) 122 Cal.App.4th 1095, 1110.

Expert testimony that a project *may* have a significant impact is generally dispositive, and under such circumstances, an EIR must be prepared. *City of Livermore v. Local Agency Formation Commission* (1996) 184 Cal. App. 3d 531, 541-542. An EIR is required when there is a factual dispute among experts. *City of Carmel-by-the-Sea v. Board of Supervisors* (1986) 183 Cal. App. 3d 229 (where Monterey County’s negative declaration was inadequate when opponent produced experts that disagreed with the size of wetlands). A conflict in expert opinion over the significance of an environmental impact requires the preparation of an EIR. *See, Title 14 Cal. Code Regs (“CEQA Guidelines”) 15064(g).* “In marginal cases where it is not

clear whether there is substantial evidence that a project may have a significant effect on the environment, the lead agency shall be guided by the following principle: ‘If there is disagreement among expert opinion supported by facts over the significance of an effect on the environment, the lead agency shall treat the effect as significant and shall prepare an environmental impact report’.” *Keep Our Mountains Quiet v. County of Santa Clara* (2015), *supra*, 2015 236 Cal. App. 4th at 720; 14 Cal. Code Regs 15064(g).

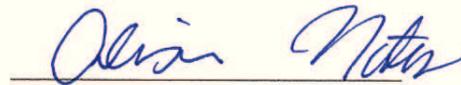
CEQA expresses “a preference for resolving doubts in favor of environmental review when the question is whether such review is warranted. [Citations] For example, if there is a disagreement among experts over the significance of an effect, the agency is to treat the effect as significant and prepare an EIR. [Citations].” *Sierra Club v. County of Sonoma, supra*, 6 Cal. App.4th at 1316-1317; *Moss v. County of Humboldt* (2008) 162 Cal.App.4th 1041, 1049.

Webster has met the fair argument standard and an EIR should be required. First, there is clear evidence of a Williamson Act contract violation by Willow Creek NewCo. LLC. The County has a duty to further investigate this violation. Secondly, the RSA remains insufficient to properly evaluate the true traffic impacts the Project, *including* the remodel, will have on the area. Third, there is sufficient evidence that the barn may be of historical significance and should thus be further analyzed. Any one of these three issues alone should trigger an EIR.

Thank you for your consideration of these comments. For all of the above reasons, in addition to the reasons set forth in the letters dated April 15, 2015, May 29, 2015 and June 1, 2015, and the oral testimony presented on April 17, 2015 and to be presented on July 7, 2015, we respectfully request you reject the MND, **deny** Minor Use Permit DRC2013-00028 and require an EIR.

Very Truly Yours,

WITTWER PARKIN, LLP



Alison Norton

EXHIBIT T

Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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DEPARTMENT OF CONSERVATION

DIVISION OF LAND RESOURCE PROTECTION

801 K STREET • MS 18-01 • SACRAMENTO, CALIFORNIA 95814

PHONE 916 / 324-0850 • FAX 916 / 327-3430 • TDD 916 / 324-2555 • WEB SITE conservation.ca.gov

March 9, 2015

Via Email: mamartin@co.slo.ca.us

Megan Martin
County San Luis Obispo
Department of Planning and Building
976 Osos Street, Rm. 200
San Luis Obispo, CA 93408-2040

SUBJECT: VILLA SAN JULIETTE - PHASED EXPANSION OF EXISTING WINERY AND TASTING ROOM; USE PERMIT DRC2013-00097; MITIGATED NEGATIVE DECLARATION - SCH# 2015021027

Dear Ms. Martin:

The Department of Conservation's (Department) Division of Land Resource Protection (Division) monitors farmland conversion on a statewide basis and administers the California Land Conservation (Williamson) Act and other agricultural land conservation programs. The Division has reviewed the above referenced project and offers the following comments and recommendations.

PROJECT DESCRIPTION

The project proposes a phased expansion of a previously approved winery and tasting room. When completed the winery would total 23,000 square feet and wine production is estimated to be 80,000 cases per year. The 169 acre property is located near the northwest intersection of Ranchita Canyon and Cross Canyon Roads. The property is classified a mixture of Unique, Prime, Farmland of Statewide Importance, and Other Land per the 2012 Important Farmland Map¹ for San Luis Obispo County. It is currently enrolled in a Williamson Act contract.

The existing and proposed facilities would reside on approximately one acre of the property. The proposal includes conversion of the lower level of the main residence to a bed and breakfast inn with 6 bedrooms. The applicant is also requesting modifications to the ordinance standards to allow the following: outdoor amplified music to play beyond 5:00 PM during special events, an increase of the allowable square footage of a proposed restaurant from 800 square feet to 1,200 square feet, 20 special events with up to 200 guests, and 3 special events with up to 500 guests.

¹ California Important Farmland Finder. California Department of Conservation. <http://maps.conservation.ca.gov/ciff/ciff.html>. Accessed 3/6/2015.

DEPARTMENT COMMENTS

The Mitigated Negative Declaration determined that the proposed project is compatible with the Williamson Act. The Department is not in agreement with that determination. The Mitigated Negative Declaration seems to only have considered the Principles of Compatibility² when determining consistency with the Williamson Act. But that is not the only relevant statute to consider when dealing with land under contract.

Government Code (GC) §51242 enables local governments to enter into Williamson Act contracts on land that is devoted to agricultural use and located in an area designated as an agricultural preserve. In return, restricted parcels are assessed for property tax purposes at a rate consistent with their actual agricultural and/or open space use, as opposed to potential market value. Because the Williamson Act provides a preferential tax assessment on contracted land in exchange for limiting the land to agricultural uses, any use other than the agricultural or open space use for which the property was placed under contract must be found to be compatible.

With regard to the proposed events and restaurant on contracted land, the Division supports activities of an agribusiness venture on land under a Williamson Act contract as long as the facilities and activities support and promote the agricultural commodity being grown on the premises. However, it must be shown that these uses and facilities would be inherently related to the site's existing agricultural operation; and the number of attendees does not abuse the Williamson Act's leniency in allowing counties to determine the permanent or temporary human population of the agricultural area (GC §51220.5)³.

The statute on temporary population increases was written to protect agricultural lands from uses that can hinder or impair agricultural operations and as such should not be taken lightly. Activities that claim to promote products grown on site should be validated with evidence that their attributes are unique enough to justify the tax benefits meant for agricultural production, as opposed to a use that could occur on non-contracted or urban lands. The events and restaurant, as described in the proposed amendment, will increase the temporary population of the site multiple times throughout the year, which can hinder agricultural operations on- and off-site.

While the Department has typically found tasting rooms to be similar in nature to stands selling produce grown on-site, and therefore compatible; the events and restaurant as proposed, are not consistent. These events bring large numbers of people into an agricultural area multiple times per year, thus increasing the temporary population of that area. The project proposes 20 events per year with up to 200 people per event, in addition to 3 special events with up to 500 people. Together with the proposed bed and breakfast inn and restaurant, this equates to a population increase well over 6,000 people per year.

The events and restaurant additions to the winery facility in this manner become akin to an event center, which is more appropriate for noncontracted land or urban land. Because the Williamson Act provides tax benefits in exchange for devoting land to agriculture or open space, the types and scale of the proposed events, and their associated facilities, are not consistent with the Act's intent. As such, the Department cannot agree with the County's determination of insignificant impact, and that the proposed uses on contracted land would be anything less than a potentially significant impact under CEQA.

² Government Code § 51238.1 – Principles of Compatibility

³ Government Code §51220.5 – Legislative Findings: Compatible Uses (Temporary Population Increases)

Villa San Juliette
March 9, 2015
Page 3 of 3

The state courts have recognized that the purpose of the Williamson Act is to protect agriculture and open space by extending tax benefits to those who voluntarily subject their land to "enforceable restriction," making the land eligible for taxation based on the agricultural use value rather than market value. Lax compatibility findings would defeat the intent of the Legislature to reduce the taxes on agricultural land in return for long term binding commitments on the land restricting the use to open space and agriculture.

It may also be worth noting that events such as these, that bring large numbers of people into a rural area, often times result in neighborhood complaints. Pursuant to GC §51251, not only does the county or city have the authority to enforce any contract but statute also provides for the enforcement of contracts by landowners. *"An owner of land may bring any action in court to enforce a contract on land whose exterior boundary is within one mile of his land. An owner of land under contract may bring any action in court to enforce a contract on land located within the same county or city."*

DEPARTMENT RECOMMENDATIONS AND CONCLUSIONS

The Department strongly recommends to the County that if the owners of the property under contract wish to have these events and uses, they file for nonrenewal for the portion of the property where the events and restaurant would be located. It is preferred the landowner wait for the contract to expire via nonrenewal prior to the County considering such a use. However, the landowner may choose to submit a petition for partial cancellation in order to terminate that portion of the contract prior to its expiration via nonrenewal.

Cancellation of a contract is an option under limited circumstances and conditions as set forth in Government Code §51280 et seq. Cancellation, if approved, would eliminate any conflicts with the Williamson Act. The Division has prepared a Cancellation Advice Paper for guidance regarding the cancellation process and is available to answer any questions. It can be found online at:

http://www.conservation.ca.gov/dlrp/lca/basic_contract_provisions/Documents/Cancellation%20Advice%20Paper%20Final_Amended_7.21.2014.pdf

Thank you for the opportunity to provide comments. We request copies of any notices, staff reports, and resolutions decided by the Planning Commission and Board of Supervisors pertaining to this project. If you have any questions concerning our comments, please contact Meri Meraz, Associate Environmental Planner at (916) 445-9411 or at mmeraz@conservation.ca.gov.

Sincerely,

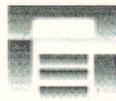


Molly A Penberth, Manager
Division of Land Resource Protection
Conservation Support Unit

cc: San Luis Obispo County Farm Bureau

EXHIBIT U

Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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PANG ENGINEERS, INC.
TRAFFIC AND TRANSPORTATION CONSULTANTS

W:\MAILING\2015 CC TO

201503-3
June 19, 2015

Ms. Alison N. Norton
WITWER PARKIN LLP
147 S. River St., Ste.221
Santa Cruz, CA 95060

Re: Pasolivo Expansion
Paso Robles
San Luis Obispo County, CA

Dear Ms. Norton:

Pursuant to your request and authorization, we have "peer reviewed" the Roadway Safety Analysis (RSA), dated June 10, 2015 for the Pasolivo Expansion project at 8530 Vineyard Drive in San Luis Obispo County which was prepared by Orosz Engineering Group, Inc. (OEG). We refer you to our previous "peer review" of the Mitigated Negative Declaration (MND) dated May 20, 2015 and as revised per an e-mail dated May 29, 2015.

Our review comments are referenced with the Item #, and the appropriate sub-category, e.g. A, B, C etc. if necessary. The comments or questions are as follows:

Item#1: page 1 "Existing Conditions"; the travel lanes are indicated on Vineyard Drive to be approximately 12 feet wide; in a survey by residents with 19 readings, the width on Vineyard Drive ranges between 18 feet and 22 feet 2 inches or substantially less than the 24 feet for two travel lanes; at a location with 3 oak trees, the width was only 18 feet which means there are 2-9 foot lanes available for traffic; these are substandard lane widths at this constricted location;

Item #2: page 2, "Trip Generation Rates"; we respectfully would disagree with the trip generation rates and the 80 peak hour trips based on 2.5 people per vehicle for a temporary event; as evidenced by the previous estimated trip generation for weddings, that estimate ranged between 116 and 130 peak hour trips and included lower automobile occupancy rates of 2.0 to 2.25, a directional split of 85% inbound and 15% outbound, with about 10% for employees and delivery trucks for the temporary events; the 116 to 130 peak hour trips would place the Pasolivo expansion project into a different category under the Board of Supervisors Resolution 2008-152 e.g. improve this length of road ¼ mile from entrance toward nearest intersection + RSA (Table 2), and RSA requirements on Table 3 to improve 1 mile from entrance toward nearest intersection this length of road;

PO BOX 4258
MOUNTAIN VIEW
CA 95040

(650) 949-1030
FAX - (650) 941-0200

Curiously, if these higher trip generation estimates are included in the MND, then a more complete Traffic Analysis and RSA should be completed, along with road improvement plans;

We also would disagree that the temporary events will occur during non-peak hours, since there is no restriction that the temporary events e.g. weddings, could not be held on a Friday evening or other weekday surrounding a holiday;

Additionally, the traffic impacts from these 20 temporary events per year, will cause traffic impacts from a cumulative perspective since there will be an event roughly once every 2.6 weeks throughout a year (52 weeks/20 events).

Item #3: pages 3 and 4, County of SLO Road Safety Analysis (RSA) Requirements; the collision data is welcomed; however, based on residents' observations, there are many near accidents which are unreported between vehicles and bicyclists; since there are no bicycle lanes on Vineyard Drive nor any planned for the foreseeable future, and with narrow vehicular travel lanes less than 12 feet in width and via a survey down to 9 feet widths, that issue has not been addressed; notwithstanding that concern, a road improvement plan based on Table 2 and Table 3 requirements on the Board of Supervisors Resolution 2008-152 should be included as a condition of development since the estimated trip generation for a temporary event may be as high as 116 to 130 peak hour trips;

Item #4: pages 4 and 5, Sight Distance Evaluation; the use of 360 feet for 45 miles per hour (mph) and 430 feet for 50 mph 85th percentile speeds do not address the additional requirement for increases in the sight distance for steeper grades, and curvature of the roadway; a better criteria in our opinion is the utilization of the corner sight distance requirement of CalTrans and the American Association of State Highway and Transportation Officials (AASHTO) which equates to 495 feet (45 mph) and 550 feet (50 mph) which was addressed in a previous "peer review" document; while the sight distance appears to be satisfied in some instances only if the trees are cut down, that is NOT emphasized in the report; not only is the corner sight distance NOT satisfied, it would NOT be satisfied even with the trees cut down due to the increase in the corner sight distance requirements; therefore, the table on page 5 is an incorrect summary of what is desired for a corner sight distance at the two driveways to and from the project site; we respectfully disagree with the results in that summary table;

In summary, the OFG RSA does not fully address the issues of estimated trip generation for a temporary event and its cumulative impacts, the corner sight distance requirements, the roadway improvements desired under the Board of Supervisors Resolution 2008-152, including substandard roadway widths, existing trees in proximity to the travel lanes, speed and roadway curvature issues, bicycle conflicts with vehicles, parking requirements for the proposed expansion as well as for the temporary events; and mitigation fees for development. All of these questions were raised in the earlier "peer review" of the MND and remain unresolved.

1. The trip generation estimate remains understated at 80 peak hour trips vs 116 to 130 peak hour trips with lower automobile occupancy rates;
2. The corner sight distance remains unsatisfied with a requirement of 495 feet for 45 mph and 550 feet for 50 mph, vs the 360 to 430 feet respectively for a stopping sight distance;
3. Which trees and how many trees are to be removed which may then create another environmental impact that has not been addressed within the MND;
4. The temporary parking shortages of anywhere between 75 to 87 stalls if 23 stalls are supplied (from the prior "peer review"), or a shortage of 86 to 98 if only 12 stalls are supplied as indicated herein;
5. The parking lot locations nor preliminary design of the parking lots on site have not been identified;
6. There is no provision for a Parking Management Plan e.g. to control the parking of vehicles on site, or potential utilization of shuttle bus services from parking lots off-site;
7. The mitigation fees for development related to traffic impacts;
8. A roadway improvement plan to satisfy the Board of Supervisors Resolution No. 2008-152 which should be produced and subsequently reviewed by the San Luis Obispo County staff for compliance with their current design standards.

All of the above remain outstanding issues which have not been adequately resolved.

We would be pleased to discuss any of the above items at your earliest opportunity.

Very Truly Yours,



Gay Lawrence Pang
Civil Engineer #20,203
Traffic Engineer #073

EXHIBIT V

**Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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Alison Norton

From: Claudia Webster <popbeads13@gmail.com>
Sent: Wednesday, June 17, 2015 2:03 PM
To: Alison Norton
Subject: Width of Vineyard

We took 19 readings. They range from 18 feet to 22 feet 2 inches. (19' 4", 19' 7", 20' 8" , 20' 4", 19' 10", 21' 2", 22' 2", 22' 2", 20' 4" - taken every 1/10 mile)...then further along Vineyard there is a spot with 3 oak trees that is 18 feet. There are ditches that would easily roll a car and large ravines on southbound and embankments northbound. We saw 20 bikes plus one recumbant (exceptional level of danger)between 1030 and 1110.

EXHIBIT W

**Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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Alison Norton

From: Claudia Lee <saveadelaida@gmail.com>
Sent: Sunday, June 28, 2015 4:33 PM
To: Alison Norton
Subject: Fwd: Vineyard drive traffic jam up....may 12.....2 DEATHS in 2 days

Follow Up Flag: Flag for follow up
Flag Status: Flagged

----- Forwarded message -----

From: sampson-m@att.net <sampson-m@att.net>
Date: Fri, Jun 26, 2015 at 5:44 AM
Subject: Re: Vineyard drive traffic jam up....may 12.....2 DEATHS in 2 days
To: Claudia Lee <saveadelaida@gmail.com>

Vineyard Drive and the vicinity has proven itself to be deadly roads twice this week....my father said he heard of a van involved in a crash at Adelaide rd. & chimney rock rd from KPRL(nothing mentioned on KSBY ch 6)on wed. morning ?and then sadly last nite at dusk at 46w/Vineyard Dr.....similar wrecks have happened at this same spot/same way(I assume) wonder if she had been to a winery?....even after that intersection and approach to 46w(heading south on Vineyard) was completely re-done many years ago..... usable info eh
On Jun 25, 2015, at 7:12 PM, Claudia Lee wrote:

the one you wrote on the list at the meeting.....double checked on the zipcode.....
rats!
I'm sure you'll get it.....
C

On Thu, Jun 25, 2015 at 12:22 PM, sampson-m@att.net <sampson-m@att.net> wrote:
I never received it...met with county this am with little /not enough ammo.....Mrs Casteel was out of town and will be gladly writing a letter on my/our behalf....its not too late to add yours in....check out Hammerskys web site....its not about wine tasting....its about EVENTS(and he denies most of them)....what address did you use for my photo return?

On Jun 25, 2015, at 9:00 AM, Claudia Lee wrote:

Mike & Ron....just to let you know...I mailed original photo (Mike) and printed copy of Ron's photo to Mike's address last weekend.....it should be there by now.....
C

On Wed, Jun 24, 2015 at 10:03 AM, Ron Jolliffe <534rocket@gmail.com> wrote:
That would be the owner of hammer sky.

On Wednesday, June 24, 2015, sampson-m@att.net <sampson-m@att.net> wrote:

EXHIBIT X

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EXHIBIT Y

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Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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1 William P. Parkin, SBN 139718
Jonathan Wittwer, SBN 058665
2 Alison N. Norton, SBN 238303
Natalie Kirkish, SBN 300101
3 WITTWER PARKIN LLP
147 S. River Street, Suite 221
4 Santa Cruz, CA 95060
Telephone: (831) 429-4055
5 Facsimile: (831) 429-4057
wparkin@wittwerparkin.com
6 jonathan@wittwerparkin.com
anorton@wittwerparkin.com
7 nkirkish@wittwerparkin.com
Attorneys for Petitioners
8 WILTON WEBSTER and HELEN
WEBSTER

FILED

MAY 12 2015

SAN LUIS OBISPO SUPERIOR COURT
BY: *[Signature]*
C. Pascoal, Deputy Clerk

10 SUPERIOR COURT OF THE STATE OF CALIFORNIA
11 FOR THE COUNTY OF SAN LUIS OBISPO
12 PASO ROBLES BRANCH

14 WILTON WEBSTER AND HELEN
15 WEBSTER,

Case No. 15CVP-0093

16 Petitioners,

~~PROPOSED~~ TEMPORARY
RESTRAINING ORDER AND ORDER TO
SHOW CAUSE RE PRELIMINARY
INJUNCTION/STAY

17 vs.

18 COUNTY OF SAN LUIS OBISPO, and
DOES 1 THROUGH 15,

[CEQA CASE]

19 Respondents,

Ex Parte Date: May 11, 2015

20 WILLOW CREEK NEWCO LLC, and
21 DOES 16 through 30,

Time: 8:30 a.m.

Dept: 2

22 Real Parties in Interest.
23
24
25
26
27

1
2 **TEMPORARY RESTRAINING ORDER AND**
3 **ORDER TO SHOW CAUSE RE PRELIMINARY INJUNCTION AND STAY**

4 TO THE COUNTY OF SAN LUIS OBISPO (RESPONDENT), and WILLOW CREEK
5 NEWCO LLC (REAL PARTY IN INTEREST):

6 Based on the pleadings herein, the Points of Authorities filed in support of this order, the
7 Petitioner's First Request for Judicial Notice in support of this order, and the Declaration of
8 Alison N. Norton,

9 YOU AND EACH OF YOU ARE HEREBY ORDERED TO SHOW CAUSE at
10 8:30 A.M. on June 3, 2015 or as soon thereafter as counsel
11 may be heard in the above entitled court, located at the Courthouse, 901 Park Street, Paso
12 Robles, California, Department 2, why you, WILLOW CREEK NEWCO LLC, your agents,
13 servants, assigns, contractors, and all those acting under you or in concert with you should not be
14 restrained and enjoined from demolishing the agricultural barn until a final judgment is rendered
15 in the above captioned matter, and why the COUNTY OF SAN LUIS OBISPO's May 7, 2015
16 approval of a demolition permit for such barn should not be stayed until a final judgment is
17 rendered in the above-captioned matter and finality as to the decision of the County Board of
18 Supervisors on the administrative appeal currently scheduled for June 2, 2015 regarding the
19 larger event center project as to which the barn demolition is a part.

20 Pending hearing^{on June 3, 2015} and a decision on the above Order to Show Cause, you, WILLOW
21 CREEK NEWCO LLC, your agents, servants, assigns, contractors, and all those acting under you
22 or in concert with you ARE HEREBY RESTRAINED AND ENJOINED from demolishing the
23 agricultural barn.

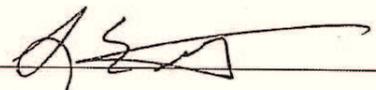
24 This Order to Show Cause, accompanying points and authorities, and supporting papers
25 must be filed and served on RESPONDENT and REAL PARTY IN INTEREST by email to their
26 respective counsel no later than _____, and proof of service shall be filed no
27 later than _____ days before the hearing. An Opposition (if any) must be filed and served on
28 PETITIONERS by email to its counsel no later than _____. A Reply (if

Temporary Restraining Order and Order to Show Cause

1 any) to the Opposition must be filed and served on RESPONDENT and REAL PARTY IN
2 INTEREST by email to their respective counsel no later than _____.

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Dated: 5/12/15



JUDGE OF THE SUPERIOR COURT

Temporary Restraining Order and Order to Show Cause

EXHIBIT Z

**Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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APPEAL OF MINOR USE PERMIT DRC2013-00028

We are APPEALING the Minor Use Permit (DRC 2013-00028) issued for 8530 Vineyard Drive, Paso Robles. The 132 acre parcel (Pasolivo) is zoned Ag-Rural Residential. The adjacent properties are also Ag-Rural Residential. The new owners, Willow Creek Newco Limited Liability Corporation (LLC) of Costa Mesa, CA bought the property in October 2012.

This permit allows the demolition of the historic barn, built around 1900, to be replaced with a *barn like structure*/event center. This historic barn is in "good" condition according to 2 local barn experts. Significant foundation and structural work was done in approximately 2005. It withstood the 2003 earthquake. It is one of the few, perhaps the only remaining intact pioneer barn in the Adelaida area and has several iconic design features. It is a local landmark and the subject of many artists. It should not be destroyed.

The permit allows 20 events of 200 people and 20 rehearsals of 50 people, (excluding non-profit events). Amplified music is allowed from 10am until 9 pm. This will be an irreversible decision, and over time, have an increasingly negative impact on the "...character of the immediate neighborhood." As more event permits are issued, impacts will accumulate. **It is not only Vineyard Drive that is threatened, but all Ag-Rural Residential areas in the county.** County Planning has informed us that they have no means to monitor or enforce permit conditions. Neighbors are burdened with monitoring. Enforcement is not any county agency's priority. The Planning Department works under the assumption that "everyone obeys the law." So, an event promoter could have significantly more than 200 people, or louder music, or a later event than allowed with no repercussions. **Without monitoring and enforcement, limitations are meaningless.**

If the permit is approved, more event oriented permits will be issued unless citizens take action. Instead of one venue operating at this magnitude, there may eventually be 2, 3, 6...or more given the current political climate. The area eventually will be saturated. Allowing this permit will set a precedent that will be impossible to reverse.

If more of these permits are issued, imagine a fine Saturday with not just 200, but 1,000 or 1,500 guests on Vineyard Drive, many of them late and in a hurry, not knowing the roads, passing bicyclists on the very narrow lane and this is your basic access! Peace, beauty, the unhurried atmosphere, freedom and quality of life are why you chose to live so far from town. If you don't feel these things should be taken from our community, then WRITE or call the County Supervisors and ATTEND the Appeal Hearing on **Tuesday, July 7, 2015** at 1055 Monterey St. Rm D170, SLO. (Call supervisors, 805-781-5450, or check the county website to confirm date/time).

It is our opinion that this is much more than a Minor Use Permit should entail. It is changing an Ag-Rural Residential neighborhood into an event-oriented commercial zone. County Agricultural Policy 6 states, "...uses shall be clearly incidental and secondary to the primary agricultural use." We contend this is not the case; the events coupled with using all 3 Pasolivo residences as "upscale vacation rentals" will be the primary use of this property.

Are we against development in general? No. But the scale of this development in a quiet rural agricultural residential area is entirely inappropriate. **Please make your voice heard.**

EXHIBIT AA

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Pasolivo



Hello...

I believe you are aware that we have submitted an application with SLO County Planning Department for a Minor Use Permit. We need a Minor Use Permit so we can expand our olive mill processing, tank capacity and tasting room facilities and support a limited number of onsite events during the year. As you probably know, going through the County permitting process requires a lot of time and resources and we have been very diligent in working through that process and have been working on this for over a year and a half. The County has their rules and processes and we are following them.

We were pretty taken aback when our neighbor to the north, the Webster's, filed two lawsuits against our project in the past month. Their first lawsuit alleged that we weren't following proper permitting rules, which is not correct and they were overruled. Their second lawsuit alleged that we were attempting to piecemeal the project, which is also incorrect. We were pretty blindsided by the Webster's since they had not previously indicated opposition nor have they ever contacted us to address their concerns – they just started filing lawsuits. At present, they are doing everything they can to prevent us from moving forward with the County. We have also been informed that neighbors have received "anonymous" letters mailed out of Northern California containing misleading information and personal attacks on our owner, Brian Dirk. The Webster's have even contacted local media in an attempt to stir up controversy. It has become quite clear to us that their objective is to stop us by any means possible from obtaining our use permit.

So what's the big deal? Well, most people in the neighborhood have been to our property (if you haven't, please come by and say hi!), so you may know that our tasting room and mill sits behind an old dairy barn. Part of our plan includes dismantling the barn so we can open up the footprint for our new tasting room and repurpose the materials into our new building. We are really excited because the barn has some timber that we get to use for fun furniture projects and we also want to incorporate any usable wood and tin into the new project. The Webster's don't want us to move forward, so they don't want to remove the barn and in fact have a restraining order against us to prevent us from getting the permit to do so.

Our current 800 sqft tasting room has a single bathroom for the entire property that serves our guests as well as our crew. My crew and I work out of a 10' x 10' office. On weekends we reach the maximum capacity of the room and guests wait outside to get in. We juggle half a dozen tote tanks full of oil that we stack to the ceiling anywhere we can find an extra nine square feet. We are busting at the seams. So, we are building a new (very modest) tasting room where the barn currently stands and putting two small ag buildings behind the mill.

Bottom line, Pasolivo has been in operation for over two decades and we have worked hard to make Pasolivo a viable business. We are proud of the turnaround the company has experienced over the past two years since Brian purchased the property. Our aim is to be good neighbors and good stewards of our land, and continue to be successful. As private property owners trying to run a successful business, we know we need to have a better facility to mill our olives, produce outstanding extra virgin olive oils, welcome the many guests that frequent Vineyard Drive area wineries, and reach our dreams. We have spent a lot of time trying to configure our project in a socially responsible manner that minimizes or eliminates wasting resources (such as worn out barn wood and dilapidated tin) and also minimizes the footprint on the land so we can preserve the open space and beauty of the sprawling oak trees. It is disheartening to think that our neighbors can tell us how to use our land and subsequently have a major impact on our business. Actually, it is downright scary that they can get a restraining order preventing us from pulling a permit to start our project.

8530 Vineyard Drive, Paso Robles, CA 93446
(805) 227-0186 | pasolivo.com

We could really use your help to prevent our neighbors from engaging activists from stopping our project and potentially your next future project. Just last week we found two trespassers from Santa Cruz attempting to gain information about our project and we asked them to leave. We are worried that if they are successful in their efforts, it would set a precedent that could jeopardize farming operations not just here in West Paso, but all over SLO County.

We want to continue growing our olives sustainably and crafting exceptional extra virgin olive oil so we can sell them to the visitors who enjoy West Paso Robles. We are disappointed that our neighbors have sued us (especially since we haven't done anything wrong) and that they are trying to stand in the way of our success. We are optimistic that the Board of Supervisors will look favorably on this project. However, we don't want to leave anything to chance.

It would be great if you could help us out. We have already been through the Planning Department, which approved our use permit twice. The Webster's appealed the Planning Department decision and now we have a hearing on June 2nd with the SLO County Board of Supervisors.

If you believe in private property rights and agree that this could lead to a harmful precedent that could damage the future viability of agriculture, we hope you will join us in expressing your concern. This can be accomplished in several ways.

1. Send an email to Frank Mecham: fmeccham@co.slo.ca.us
2. Call Supervisor Mecham's office: (805) 781-5450 or (800) 834-4636
3. Attend the Board of Supervisor's meeting on June 2nd and let your feelings be known

If you would like to chat with me about this please give me a call at 227-0186 or email me at htrout@pasolivo.com.

Thank you for considering this request.

Respectfully,



Hillary Trout
General Manager

Just the Facts:

- The barn was built in 1925
- The barn has no historical significance – we hired a County-approved historian to conduct a study
- We want to reuse all the barn parts – wood, tin, light fixtures, etc
- We love this property and we don't want to have to put the tasting room in a different spot – we want to minimize our footprint on the land and keep the open space beautiful
- The alleged "corporate owners" is Brian Dirk. The business is an LLC.

Our Address: 8530 Vineyard Drive, Paso Robles
Our Hours: Daily 11 am – 5 pm

EXHIBIT BB

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Fw: Request
Karen Nall to: Holly Phipps

10/28/2013 09:47 AM

From: Karen Nall/Planning/COSLO
To: Holly Phipps/Planning/COSLO@Wings
History: This message has been replied to.

Hi Holly

Can you call this gentleman and let him know the application at Pasolivo is in. He is a neighbor who is concerned about traffic and large events - I told him I would let him know when the application came in and make sure he is noticed of the hearing. He got the pre-notice so is somewhat informed of the application.

Thank you

Karen Nall, Senior Planner
San Luis Obispo County
Department of Planning and Building
(805)781-5606 knall@co.slo.ca.us

<http://www.sloplanning.org>

----- Forwarded by Karen Nall/Planning/COSLO on 10/28/2013 09:44 AM -----

From: Matt Janssen/Planning/COSLO
To: Karen Nall/Planning/COSLO@Wings
Date: 10/23/2013 01:40 PM
Subject: Fw: Request

Karen:

Can you call this guy for me?

If something interesting comes from the call please report it back to Vicki. Otherwise, just calling him back will be enough.

Thanks,

Matt

----- Forwarded by Matt Janssen/Planning/COSLO on 10/23/2013 01:39 PM -----

From: Vicki Shelby/BOS/COSLO
To: Matt Janssen/Planning/COSLO@Wings
Date: 10/23/2013 01:34 PM
Subject: Request

We received a call from Will Webster today (239-3312). He is requesting information regarding the Paso Olivo property recently purchased by Ryan Dirk (?). He indicated in his phone message that they are requesting a variance from the ordinance and he is asking about whether there will be a public hearing on this to allow for input? Mr. Webster is elderly and needs some help on this one, can you help him out?

Thanks

Vicki M. Shelby
Legislative Assistant for
First District Supervisor Frank R. Mecham
1055 Monterey St., D430
San Luis Obispo CA 93408
(805) 781-4491/FAX (805) 781-1350

EXHIBIT CC

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Re: Fw: Pasolivo MUP
Vicki Shelby to: Holly Phipps

08/12/2014 02:12 PM

History: This message has been replied to.

Holly,

I spoke to Mr. Webster and he was glad to know he'd still have an opportunity to speak on this matter when it's scheduled for hearing. He wants to make sure he gets a notice of that hearing.

His name is Will Webster and his address is 8787 Vineyard Dr., Paso Robles, CA 93446.

Thanks.

Vicki M. (Shelby) Fogleman
Legislative Assistant for
First District Supervisor Frank R. Mecham
1055 Monterey St., D430
San Luis Obispo CA 93408
(805) 781-4491/FAX (805) 781-1350

✓ Yes ↑

email: vshelby@co.slo.ca.us

"Thinking a smile all the time will keep your face youthful" - Frank G. Burgess
"Wrinkles should merely indicate where smiles have been" - Mark Twain

Labels made

Holly Phipps

Hi Vicki, The project has been accepted and the...

08/12/2014 01:40:30 PM

From: Holly Phipps/Planning/COSLO
To: Vicki Shelby/BOS/COSLO@Wings, Matt Janssen/Planning/COSLO@Wings
Cc: Karen Nall/Planning/COSLO@Wings
Date: 08/12/2014 01:40 PM
Subject: Re: Fw: Pasolivo MUP

Hi Vicki,

The project has been accepted and the Initial Study (IS) is currently being prepared as part of the Environmental Review process. After the IS has been completed, it will be sent for review. A Developer's Statement will then be mailed out to the applicant for review and a signature. When that is returned, I can then schedule a hearing date.

The ordinance required that a letter describing the project (Pre-notice, mailed out by the applicant) be mailed out to neighbors within 1,000 ft of the property. This was completed. When the project is ready to go to the Planning Department Hearing, an official notice also will be mailed out.

No hearing has been scheduled.

Cheers,

Labels

EXHIBIT DD

Agenda Item No: 32 • Meeting Date: July 7, 2015
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Alison Norton

From: wmcDonald@co.slo.ca.us
Sent: Tuesday, May 26, 2015 4:50 PM
To: Jonathan Wittwer
Cc: Alison Norton; Ty Green; tmcnulty@co.slo.ca.us
Subject: RE: Webster v. County -- Settlement Meeting

I am not aware of any intent to request a continuance of the Board meeting scheduled for June 2nd. As far as I know, that hearing is still going forward as noticed. The Notice of Settlement Meeting is related to the litigation currently on file and the dates are based on the First Amended Petition that Alison served on me personally in the courtroom on May 11, 2015.

-- Whitney

Whitney G. McDonald | Deputy County Counsel | San Luis Obispo County
1055 Monterey Street, Suite D320 | San Luis Obispo, CA 93408
Tel: (805) 781-5400 | Fax: (805) 781-4221 | wmcDonald@co.slo.ca.us

From: Jonathan Wittwer <jonathan@wittwerparkin.com>
To: "wmcDonald@co.slo.ca.us" <wmcDonald@co.slo.ca.us>, Alison Norton <anorton@wittwerparkin.com>, Ty Green <green@ammcqlaw.com>
Cc: "tmcnulty@co.slo.ca.us" <tmcnulty@co.slo.ca.us>
Date: 05/26/2015 04:42 PM
Subject: RE: Webster v. County -- Settlement Meeting

Whitney – I do not understand the basis of the statements in your email below that you “will need to file a Notice of Settlement Meeting by Monday [and] [t]he settlement meeting will need to take place before June 25th, per PRC 21167.8.” Section 21167.8(a) governs the required settlement meeting and provides as follows:

Public Resources Code § 21167.8 (a) Not later than 20 days from the date of service upon a public agency of a petition or complaint brought pursuant to Section 21167, the public agency shall file with the court a notice setting forth the time and place at which all parties shall meet and attempt to settle the litigation. The meeting shall be scheduled and held not later than 45 days from the date of service of the petition or complaint upon the public agency. The notice of the settlement meeting shall be served by mail upon the counsel for each party.

The County was served with the Petition on April 13, 2015. The 20th day thereafter was May 3, 2015. We did not receive the County’s required notice setting a settlement meeting by that date, nor as of this date. The 45th day after the County was served will be May 28, 2015.

As I mentioned in our phone call last Thursday, Petitioners had set up a settlement meeting in SLO in the last week of March (as I recall) and Applicant withdrew from participation at 4pm the day before the meeting. We (along with our clients) were planning to attend in person. This was before filing the litigation challenging segmentation, etc. and before the then scheduled April 17, 2015 Appeal Hearing (which the County later cancelled and sent back to the Hearing Officer due to noticing flaws).

Your email does not mention any continuance of the Board of Supervisors Hearing on the Appeal of the Minor Use Permit now scheduled for June 2, 2015. Hence, it is our understanding that you are planning to set up a settlement meeting in the existing litigation regarding segmentation certain permits for after the Board Hearing on the Minor Use Permit on the Event Center has been conducted. Please inform me immediately if our understanding is not correct and the Board Hearing is being continued.

EXHIBIT EE

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Alison Norton

From: wmcDonald@co.slo.ca.us
Sent: Thursday, May 28, 2015 2:22 PM
To: Jonathan Wittwer
Cc: Alison Norton; Ty Green
Subject: Re: Whitney's Inquiry re Settlement Meeting re Willow Creek NewCo matter

Jonathan,

Thank you for proposing dates for a settlement meeting. The County is available on all of those dates. I will wait to hear back from Ty before nailing down the date.

I am not currently in a position to agree to a continuance of the Board appeal hearing or the hearing on the preliminary injunction. Of course, both the Board and the Court could exercise their discretion to continue the two hearings, but that will be up to them.

Thanks again,

Whitney

Whitney G. McDonald | Deputy County Counsel | San Luis Obispo County
1055 Monterey Street, Suite D320 | San Luis Obispo, CA 93408
Tel: (805) 781-5400 | Fax: (805) 781-4221 | wmcDonald@co.slo.ca.us

From: Jonathan Wittwer <jonathan@wittwerparkin.com>
To: "wmcDonald@co.slo.ca.us" <wmcDonald@co.slo.ca.us>, Ty Green <green@ammcqlaw.com>
Cc: Alison Norton <anorton@wittwerparkin.com>
Date: 05/27/2015 02:38 PM
Subject: Whitney's Inquiry re Settlement Meeting re Willow Creek NewCo matter

Whitney and Ty - In an earlier email, Whitney inquired whether there any dates prior to June 25th that work better for the parties for the settlement meeting which was required under the existing CEQA litigation. Dates which would currently work for us are June 9, 10, 15, or 16, 2015. We will need to check with clients if the parties are going to attend. We are open to the meeting being held in the County Counsel's office.

We remain convinced that it would be far preferable for the Appeal Hearing to be continued so that we can hold this settlement meeting before the parties have to make presentations and submit evidentiary packages to the Board of Supervisors and deal with any decision made by the Board. However, failing that, we propose that the parties enter a Stipulation agreeing that the TRO remain in effect and the Preliminary Injunction Hearing be continued to five days after the settlement meeting is held. Please respond to this proposal by 130pm May 28, 2015. Thank you.

EXHIBIT FF

**Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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Letter of Transmittal

Date: June 2, 2015
To: Board of Supervisors
From: Jamie Kirk
RE: Board of Supervisors' June 2, 2015 Meeting
Item 33 - Pasolivo DRC 2013-00028

I would like to request a continuance of the San Luis Obispo County Board of Supervisors' (Board) hearing to consider the Minor Use Permit for Willow Creek NewCo, LLC (Pasolivo DRC 2013-00028) to July 7th, 2015. This request for continuance is based on the last minute submission of a voluminous amount of documents (+4,000 pages) by Wittwer/Parkin on behalf of the Appellants, Wilton and Helen Webster.

As the Board is aware, my client, Mr. Brian Dirk, made a decision in March to have the project remanded by the Board for a second Planning Department Hearing to ensure that proper public notice was provided. While the cover letter from Wittwer/Parkin does not raise any new issues, we believe it is important that the Board, county staff, the applicant and the public have adequate time to review the submission before the item is considered.

Despite already experiencing numerous delays, we feel this additional delay is an important step to ensure adequate time is provided to review the information. We respectfully request that the item be continued to a date certain of July 7, 2015.

Thank you for your consideration of our request.

Regards,

Jamie Kirk
Kirk Consulting

8830 Morro Road, Atascadero, CA 93422
Phone: 805-461-5765 Fax: 805-462-9466
jamie@kirk-consulting.net

EXHIBIT GG

Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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BUILDING ENERGY ANALYSIS REPORT

PROJECT:

Pasolivo Residence
8530 Vineyard Drive
Paso Robles, CA

Project Designer:

Caron Design Inc.
1404 Broad Street
San Luis Obispo, CA 93401
(805) 627-1875

County of San Luis Obispo

Building Division

FILE COPY

Report Prepared by:

Timothy Carstairs, CEA, CEPE
Carstairs Energy Calculations
P.O. Box 4736
San Luis Obispo, CA 93408
(805) 904-9048

COUNTY OF SAN LUIS OBISPO PLANNING AND BUILDING
REVIEWED FOR CODE COMPLIANCE
by Matt Varvel
PMT 2013-02462 Date 9/30/14
The approval of these plans shall not permit
violations of county or state laws. The County
may revoke this approval or require corrections if
they are in error. These approved plans shall
be made available when inspections are
requested. All changes must be approved.



Job Number:

14-04045

Date:

9/8/2014

The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2008 Building Energy Efficiency Standards.

This program developed by EnergySoft, LLC - www.energysoft.com.

EnergyPro 5.1 by EnergySoft User Number: 6249 RunCode: 2014-09-08T08:51:11 ID: 14-04045



Agenda Item No: 22 Meeting Date: July 7, 2015
Presented By: Alison Norton

Rec'd prior to the meeting & posted on: July 2, 2015

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PERFORMANCE CERTIFICATE: Residential (Part 1 of 5) **CF-1R**

Project Name <i>Pasolivo Residence</i>	Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Addition Alone <input type="checkbox"/> Multi Family <input type="checkbox"/> Existing+ Addition/Alteration	Date <i>9/8/2014</i>
Project Address <i>8530 Vineyard Drive Paso Robles</i>	California Energy Climate Zone <i>CA Climate Zone 04</i>	Total Cond. Floor Area <i>5,960</i>
	Addition <i>n/a</i>	# of Stories <i>2</i>

FIELD INSPECTION ENERGY CHECKLIST
 Yes No HERS Measures -- If Yes, A CF-4R must be provided per Part 2 of 5 of this form.
 Yes No Special Features -- If Yes, see Part 2 of 5 of this form for details.

INSULATION		Area	Special	Status
Construction	Type	Cavity	Features (see Part 2 of 5)	
Floor	<i>Wood Framed w/Crawl Space</i>	<i>R-19</i>	<i>4,002</i>	<i>New</i>
Wall	<i>Wood Framed</i>	<i>R-13</i>	<i>3,081</i>	<i>New</i>
Roof	<i>Wood Framed Attic</i>	<i>R-30</i>	<i>4,812</i>	<i>New</i>
Slab	<i>Unheated Slab-on-Grade</i>	<i>None</i>	<i>810 Perim = 91'</i>	<i>New</i>

FENESTRATION	U-Factor	SHGC	Overhang	Sidelines	Exterior Shades	Status
Orientation	Area (ft ²)					
<i>Front (SW)</i>	<i>240.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Front (SW)</i>	<i>40.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Rear (NE)</i>	<i>307.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Rear (NE)</i>	<i>40.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Right (SE)</i>	<i>209.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Right (S)</i>	<i>94.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Left (N)</i>	<i>104.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Front (W)</i>	<i>50.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Front (W)</i>	<i>53.3</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Rear (NE)</i>	<i>53.3</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>
<i>Left (NW)</i>	<i>40.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>

HVAC SYSTEMS						
Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status
<i>6</i>	<i>Split Heat Pump</i>	<i>9.00 HSPF</i>	<i>Split Heat Pump</i>	<i>16.0 SEER</i>	<i>Setback</i>	<i>New</i>
<i>1</i>	<i>Central Furnace</i>	<i>96% AFUE</i>	<i>Split Air Conditioner</i>	<i>13.5 SEER</i>	<i>Setback</i>	<i>New</i>

HVAC DISTRIBUTION					
Location	Heating	Cooling	Duct Location	Duct R-Value	Status
<i>Mini-Split Heat Pumps</i>	<i>Ductless / with Fan</i>	<i>Ductless</i>	<i>n/a</i>	<i>n/a</i>	<i>New</i>
<i>Main Ducted</i>	<i>Ducted</i>	<i>Ducted</i>	<i>Attic, Ceiling Ins, vented</i>	<i>6.0</i>	<i>New</i>

WATER HEATING					
Qty.	Type	Gallons	Min. Eff	Distribution	Status
<i>2</i>	<i>Instant Gas</i>	<i>0</i>	<i>0.95</i>	<i>Kitchen Pipe Ins</i>	<i>New</i>

PERFORMANCE CERTIFICATE: Residential (Part 1 of 5) **CF-1R**

Project Name <i>Pasolivo Residence</i>	Building Type <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multi Family	<input type="checkbox"/> Addition Alone <input type="checkbox"/> Existing+ Addition/Alteration	Date <i>9/8/2014</i>
Project Address <i>8530 Vineyard Drive Paso Robles</i>	California Energy Climate Zone <i>CA Climate Zone 04</i>	Total Cond. Floor Area <i>5,960</i>	Addition <i>n/a</i>
			# of Stories <i>2</i>

FIELD INSPECTION ENERGY CHECKLIST

Yes No HERS Measures -- If Yes, A CF-4R must be provided per Part 2 of 5 of this form.
 Yes No Special Features -- If Yes, see Part 2 of 5 of this form for details.

INSULATION Construction Type	Cavity	Area (ft ²)	Special Features (see Part 2 of 5)	Status

FENESTRATION Orientation	U-Factor	SHGC	Overhang	Sidefins	Exterior Shades	Status
<i>Left (NW)</i>	<i>12.0</i>	<i>0.590</i>	<i>0.45</i>	<i>none</i>	<i>none</i>	<i>Bug Screen</i>

HVAC SYSTEMS Qty. Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status

HVAC DISTRIBUTION Location	Heating	Cooling	Duct Location	Duct R-Value	Status

WATER HEATING Qty. Type	Gallons	Min. Eff	Distribution	Status

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 Agenda Item No: 32 • Meeting Date: July 7, 2015
 Presented By: Alison Norton
 Rec'd prior to the meeting & posted on: July 2, 2015
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PERFORMANCE CERTIFICATE: Residential (Part 3 of 5) **CF-1R**

Project Name *Pasolivo Residence* Building Type Single Family Addition Alone Date *9/8/2014*
 Multi Family Existing+ Addition/Alteration

ANNUAL ENERGY USE SUMMARY

	Standard	Proposed	Margin
TDV (kBtu/ft ² -yr)			
Space Heating	16.74	14.74	2.00
Space Cooling	2.80	5.38	-2.58
Fans	1.73	2.61	-0.88
Domestic Hot Water	8.50	5.56	2.94
Pumps	0.00	0.00	0.00
Totals	29.77	28.29	1.48
Percent Better Than Standard:			5.0 %

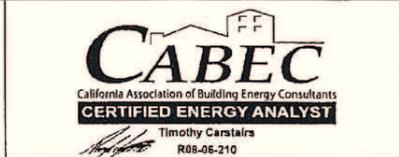
BUILDING COMPLIES - HERS VERIFICATION REQUIRED

		Ext. Walls/Roof	Wall Area	Fenestration Area
Building Front Orientation:	(SW) 225 deg			
Number of Dwelling Units:	1.00	(SW)	1,340	383
Fuel Available at Site:	Propane	(NW)	724	156
Raised Floor Area:	4,002	(NE)	1,172	400
Slab on Grade Area:	810	(SE)	1,088	303
Average Ceiling Height:	8.0	Roof	4,812	0
Fenestration Average U-Factor:	0.59		TOTAL:	1,243
Average SHGC:	0.45		Fenestration/CFA Ratio:	20.8 %

REMARKS

STATEMENT OF COMPLIANCE

This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 the Administrative Regulations and Part 6 the Efficiency Standards of the California Code of Regulations.



The documentation author hereby certifies that the documentation is accurate and complete.

Documentation Author
 Company *Carstairs Energy Calculations*
 Address *P.O. Box 4736* Name *Timothy Carstairs, CEA, CEPE*
 City/State/Zip *San Luis Obispo, CA 93403* Phone *(805) 904-9048* Signed *[Signature]* Date *9/8/2014*

The individual with overall design responsibility hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application, and recognizes that compliance using duct design, duct sealing, verification of refrigerant charge, insulation installation quality, and building envelope sealing require installer testing and certification and field verification by an approved HERS rater.

Designer or Owner (per Business & Professions Code)
 Company *Caron Design Inc.*
 Address *1404 Broad Street* Name
 City/State/Zip *San Luis Obispo, CA 93401* Phone *(805) 627-1875* Signed *[Signature]* License # *C31688* Date *9/11*

CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) **CF-1R**

Project Name: **Pasolivo Residence** Building Type: Single Family Addition Alone Multi Family Existing+ Addition/Alteration Date: **9/8/2014**

OPAQUE SURFACE DETAILS

Surface Type	Area	U-Factor	Insulation				Azm	Tilt	Status	Joint Appendix 4	Location/Comments
			Cavity	Exterior	Frame	Interior					
Floor	4,002	0.037	R-19				0	180	New	4.4.1-A4	1st Floor
Wall	281	0.102	R-13				225	90	New	4.3.1-A3	1st Floor
Wall	311	0.102	R-13				45	90	New	4.3.1-A3	1st Floor
Wall	55	0.102	R-13				135	90	New	4.3.1-A3	1st Floor
Wall	235	0.102	R-13				180	90	New	4.3.1-A3	1st Floor
Wall	288	0.102	R-13				0	90	New	4.3.1-A3	1st Floor
Wall	249	0.102	R-13				270	90	New	4.3.1-A3	1st Floor
Wall	131	0.102	R-13				180	90	New	4.3.1-A3	1st Floor
Wall	64	0.102	R-13				90	90	New	4.3.1-A3	1st Floor
Roof	2,854	0.031	R-30				0	0	New	4.2.1-A20	1st Floor
Roof	810	0.031	R-30				0	0	New	4.2.1-A20	1st Floor
Wall	186	0.102	R-13				135	90	New	4.3.1-A3	1st Floor
Wall	123	0.102	R-13				45	90	New	4.3.1-A3	1st Floor
Wall	20	0.102	R-13				315	90	New	4.3.1-A3	1st Floor
Wall	151	0.102	R-13				225	90	New	4.3.1-A3	1st Floor
Slab	810	0.730	None				0	180	New	4.4.7-A1	1st Floor

FENESTRATION SURFACE DETAILS

ID	Type	Area	U-Factor ¹	SHGC ²		Azm	Status	Glazing Type	Location/Comments	
1	Window	45.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	1st Floor
2	Window	45.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	1st Floor
3	Window	45.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	1st Floor
4	Window	40.0	0.590	NFRC	0.45	NFRC	225	New	French Doors	1st Floor
5	Window	40.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	1st Floor
6	Window	40.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	1st Floor
7	Window	50.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	1st Floor
8	Window	50.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	1st Floor
9	Window	45.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	1st Floor
10	Window	40.0	0.590	NFRC	0.45	NFRC	45	New	French Doors	1st Floor
11	Window	25.0	0.590	NFRC	0.45	NFRC	135	New	Alum/Low-E Windows	1st Floor
12	Window	45.0	0.590	NFRC	0.45	NFRC	180	New	Alum/Low-E Windows	1st Floor
13	Window	4.0	0.590	NFRC	0.45	NFRC	180	New	Alum/Low-E Windows	1st Floor
14	Window	50.0	0.590	NFRC	0.45	NFRC	0	New	Alum/Low-E Windows	1st Floor
15	Window	50.0	0.590	NFRC	0.45	NFRC	0	New	Alum/Low-E Windows	1st Floor
16	Window	4.0	0.590	NFRC	0.45	NFRC	0	New	Alum/Low-E Windows	1st Floor

(1) U-Factor Type: 116-A = Default Table from Standards, NFRC = Labeled Value
 (2) SHGC Type: 116-B = Default Table from Standards, NFRC = Labeled Value

EXTERIOR SHADING DETAILS

ID	Exterior Shade Type	SHGC	Window		Overhang			Left Fin			Right Fin			
			Hgt	Wd	Len	Hgt	LExt	RExt	Dist	Len	Hgt	Dist	Len	Hgt
1	Bug Screen	0.76												
2	Bug Screen	0.76												
3	Bug Screen	0.76												
4	Bug Screen	0.76												
5	Bug Screen	0.76												
6	Bug Screen	0.76												
7	Bug Screen	0.76												
8	Bug Screen	0.76												
9	Bug Screen	0.76												
10	Bug Screen	0.76												
11	Bug Screen	0.76												
12	Bug Screen	0.76												
13	Bug Screen	0.76												
14	Bug Screen	0.76												
15	Bug Screen	0.76												
16	Bug Screen	0.76												

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CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) **CF-1R**

Project Name: *Pasolivo Residence* Building Type: Single Family Addition Alone Multi Family Existing+ Addition/Alteration Date: *9/8/2014*

OPAQUE SURFACE DETAILS

Surface Type	Area	U-Factor	Insulation				Azm	Tilt	Status	Joint Appendix 4	Location/Comments
			Cavity	Exterior	Frame	Interior					
Wall	276	0.102	R-13				225	90	New	4.3.1-A3	2nd Floor
Wall	260	0.102	R-13				315	90	New	4.3.1-A3	2nd Floor
Wall	274	0.102	R-13				45	90	New	4.3.1-A3	2nd Floor
Wall	178	0.102	R-13				135	90	New	4.3.1-A3	2nd Floor
Roof	1,148	0.031	R-30				0	0	New	4.2.1-A20	2nd Floor

FENESTRATION SURFACE DETAILS

ID	Type	Area	U-Factor ¹		SHGC ²		Azm	Status	Glazing Type	Location/Comments
17	Window	20.0	0.590	NFRC	0.45	NFRC	270	New	Alum/Low-E Windows	1st Floor
18	Window	20.0	0.590	NFRC	0.45	NFRC	270	New	Alum/Low-E Windows	1st Floor
19	Window	53.3	0.590	NFRC	0.45	NFRC	270	New	Sliding Glass Door	1st Floor
20	Window	10.0	0.590	NFRC	0.45	NFRC	270	New	Alum/Low-E Windows	1st Floor
21	Window	45.0	0.590	NFRC	0.45	NFRC	180	New	Alum/Low-E Windows	1st Floor
22	Window	45.0	0.590	NFRC	0.45	NFRC	135	New	Alum/Low-E Windows	1st Floor
23	Window	45.0	0.590	NFRC	0.45	NFRC	135	New	Alum/Low-E Windows	1st Floor
24	Window	53.3	0.590	NFRC	0.45	NFRC	45	New	Sliding Glass Door	1st Floor
25	Window	20.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	1st Floor
26	Window	40.0	0.590	NFRC	0.45	NFRC	315	New	French Doors	1st Floor
27	Window	45.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	1st Floor
28	Window	20.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	2nd Floor
29	Window	20.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	2nd Floor
30	Window	20.0	0.590	NFRC	0.45	NFRC	225	New	Alum/Low-E Windows	2nd Floor
31	Window	12.0	0.590	NFRC	0.45	NFRC	315	New	Alum/Low-E Windows	2nd Floor
32	Window	14.0	0.590	NFRC	0.45	NFRC	45	New	Alum/Low-E Windows	2nd Floor

(1) U-Factor Type: 116-A = Default Table from Standards, NFRC = Labeled Value
 (2) SHGC Type: 116-B = Default Table from Standards, NFRC = Labeled Value

EXTERIOR SHADING DETAILS

ID	Exterior Shade Type	SHGC	Window		Overhang				Left Fin			Right Fin		
			Hgt	Wd	Len	Hgt	LExt	RExt	Dist	Len	Hgt	Dist	Len	Hgt
17	Bug Screen	0.76												
18	Bug Screen	0.76												
19	Bug Screen	0.76												
20	Bug Screen	0.76												
21	Bug Screen	0.76												
22	Bug Screen	0.76												
23	Bug Screen	0.76												
24	Bug Screen	0.76												
25	Bug Screen	0.76												
26	Bug Screen	0.76												
27	Bug Screen	0.76												
28	Bug Screen	0.76												
29	Bug Screen	0.76												
30	Bug Screen	0.76												
31	Bug Screen	0.76												
32	Bug Screen	0.76												

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MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) **MF-1R**

Project Name Pasolivo Residence	Date 9/8/2014
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NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CF-1R-ALT Form) shall supersede the items marked with an asterisk (*) below. This Mandatory Measures Summary shall be incorporated into the permit documents, and the applicable features shall be considered by all parties as minimum component performance specifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1R Form with plans.

Building Envelope Measures:

- §116(a)1: Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.
- §116(a)4: Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111(a).
- §117: Exterior doors and windows are weather-stripped; all joints and penetrations are caulked and sealed.
- §118(a): Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on CF-6R Form.
- §118(i): The thermal emittance and solar reflectance values of the cool roofing material meets the requirements of §118(i) when the installation of a Cool Roof is specified on the CF-1R Form.
- *§150(a): Minimum R-19 insulation in wood-frame ceiling or equivalent U-factor.
- §150(b): Loose fill insulation shall conform with manufacturer's installed design labeled R-Value.
- *§150(c): Minimum R-13 insulation in wood-frame wall or equivalent U-factor.
- *§150(d): Minimum R-13 insulation in raised wood-frame floor or equivalent U-factor.
- §150(f): Air retarding wrap is tested, labeled, and installed according to ASTM E1677-95(2000) when specified on the CF-1R Form.
- §150(g): Mandatory Vapor barrier installed in Climate Zones 14 or 16.
- §150(l): Water absorption rate for slab edge insulation material alone without facings is no greater than 0.3%; water vapor permeance rate is no greater than 2.0 perm/inch and shall be protected from physical damage and UV light deterioration.

Fireplaces, Decorative Gas Appliances and Gas Log Measures:

- §150(e)1A: Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.
- §150(e)1B: Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and is equipped with a with a readily accessible, operable, and tight-fitting damper and or a combustion-air control device.
- §150(e)2: Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.

Space Conditioning, Water Heating and Plumbing System Measures:

- §110-§113: HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified by the Energy Commission.
- §113(c)5: Water heating recirculation loops serving multiple dwelling units and High-Rise residential occupancies meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §113(c)5.
- §115: Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces, household cooking appliances (appliances with an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.
- §150(h): Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA.
- §150(i): Heating systems are equipped with thermostats that meet the setback requirements of Section 112(c).
- §150(j)1A: Storage gas water heaters rated with an Energy Factor no greater than the federal minimal standard are externally wrapped with insulation having an installed thermal resistance of R-12 or greater.
- §150(j)1B: Unfired storage tanks, such as storage tanks or backup tanks for solar water-heating system, or other indirect hot water tanks have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
- §150(j)2: First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes are insulated per Standards Table 150-B.
- §150(j)2: Cooling system piping (suction, chilled water, or brine lines), and piping insulated between heating source and indirect hot water tank shall be insulated to Table 150-B and Equation 150-A.
- §150(j)2: Pipe insulation for steam hydronic heating systems or hot water systems >15 psi, meets the requirements of Standards Table 123-A.
- §150(j)3A: Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.
- §150(j)3A: Insulation for chilled water piping and refrigerant suction lines includes a vapor retardant or is enclosed entirely in conditioned space.
- §150(j)4: Solar water-heating systems and/or collectors are certified by the Solar Rating and Certification Corporation.

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 Agenda Item No: 32 • Meeting Date: July 7, 2015
 Presented By: Alison Norton
 Rec'd prior to the meeting & posted on: July 2, 2015
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MANDATORY MEASURES SUMMARY: Residential		(Page 2 of 3)	MF-1R
Project Name <i>Pasolivo Residence</i>		Date <i>9/8/2014</i>	
<p>§150(m)1: All air-distribution system ducts and plenums installed, are sealed and insulated to meet the requirements of CMC Sections 601, 602, 603, 604, 605 and Standard 6-5; supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used</p>			
<p>§150(m)1: Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.</p>			
<p>§150(m)2D: Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.</p>			
<p>§150(m)7: Exhaust fan systems have back draft or automatic dampers.</p>			
<p>§150(m)8: Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.</p>			
<p>§150(m)9: Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.</p>			
<p>§150(m)10: Flexible ducts cannot have porous inner cores.</p>			
<p>§150(o): All dwelling units shall meet the requirements of ANSI/ASHRAE Standard 62.2-2007 Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings. Window operation is not a permissible method of providing the Whole Building Ventilation required in Section 4 of that Standard.</p>			
Pool and Spa Heating Systems and Equipment Measures:			
<p>§114(a): Any pool or spa heating system shall be certified to have: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating or a pilot light.</p>			
<p>§114(b)1: Any pool or spa heating equipment shall be installed with at least 36" of pipe between filter and heater, or dedicated suction and return lines, or built-up connections for future solar heating.</p>			
<p>§114(b)2: Outdoor pools or spas that have a heat pump or gas heater shall have a cover.</p>			
<p>§114(b)3: Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.</p>			
<p>§150(p): Residential pool systems or equipment meet the pump sizing, flow rate, piping, filters, and valve requirements of §150(p).</p>			
Residential Lighting Measures:			
<p>§150(k)1: High efficacy luminaires or LED Light Engine with Integral Heat Sink has an efficacy that is no lower than the efficacies contained in Table 150-C and is not a low efficacy luminaire as specified by §150(k)2.</p>			
<p>§150(k)3: The wattage of permanently installed luminaires shall be determined as specified by §130(d).</p>			
<p>§150(k)4: Ballasts for fluorescent lamps rated 13 Watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.</p>			
<p>§150(k)5: Permanently installed night lights and night lights integral to a permanently installed luminaire or exhaust fan shall contain only high efficacy lamps meeting the minimum efficacies contained in Table 150-C and shall not contain a line-voltage socket or line-voltage lamp holder; OR shall be rated to consume no more than five watts of power as determined by §130(d), and shall not contain a medium screw-base socket.</p>			
<p>§150(k)6: Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the applicable requirements of §150(k).</p>			
<p>§150(k)7: All switching devices and controls shall meet the requirements of §150(k)7.</p>			
<p>§150(k)8: A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy. EXCEPTION: Up to 50 watts for dwelling units less than or equal to 2,500 ft² or 100 watts for dwelling units larger than 2,500 ft² may be exempt from the 50% high efficacy requirement when: all low efficacy luminaires in the kitchen are controlled by a manual on occupant sensor, dimmer, energy management system (EMCS), or a multi-scene programmable control system; and all permanently installed luminaries in garages, laundry rooms, closets greater than 70 square feet, and utility rooms are high efficacy and controlled by a manual-on occupant sensor.</p>			
<p>§150(k)9: Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.</p>			
<p>EnergyPro 5.1 by EnergySoft User Number: 6249 RunCode: 2014-09-08T08:51:11 ID: 14-04045 Page 12 of 13</p>			

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MANDATORY MEASURES SUMMARY: Residential

(Page 3 of 3)

MF-1R

Project Name

Pasolivo Residence

Date

9/8/2014

§150(k)10: Permanently installed luminaires in bathrooms, attached and detached garages, laundry rooms, closets and utility rooms shall be high efficacy.

EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by a manual-on occupant sensor certified to comply with the applicable requirements of §119.

EXCEPTION 2: Permanently installed low efficacy luminaires in closets less than 70 square feet are not required to be controlled by a manual-on occupancy sensor.

§150(k)11: Permanently installed luminaires located in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, closets, and utility rooms shall be high efficacy luminaires. EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided they are controlled by either a dimmer switch that complies with the applicable requirements of §119, or by a manual-on occupant sensor that complies with the applicable requirements of §119. EXCEPTION 2: Lighting in detached storage building less than 1000 square feet located on a residential site is not required to comply with §150(k)11.

§150(k)12: Luminaires recessed into insulated ceilings shall be listed for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/rating laboratory; and have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; and be sealed with a gasket or caulk between the luminaire housing and ceiling.

§150(k)13: Luminaires providing outdoor lighting, including lighting for private patios in low-rise residential buildings with four or more dwelling units, entrances, balconies, and porches, which are permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy. EXCEPTION 1: Permanently installed outdoor low efficacy luminaires shall be allowed provided that they are controlled by a manual on/off switch, a motion sensor not having an override or bypass switch that disables the motion sensor, and one of the following controls: a photocontrol not having an override or bypass switch that disables the photocontrol; OR an astronomical time clock not having an override or bypass switch that disables the astronomical time clock; OR an energy management control system (EMCS) not having an override or bypass switch that allows the luminaire to be always on EXCEPTION 2: Outdoor luminaires used to comply with Exception 1 to §150(k)13 may be controlled by a temporary override switch which bypasses the motion sensing function provided that the motion sensor is automatically reactivated within six hours. EXCEPTION 3: Permanently installed luminaires in or around swimming pool, water features, or other location subject to Article 680 of the California Electric Code need not be high efficacy luminaires.

§150(k)14: Internally illuminated address signs shall comply with Section 148; OR not contain a screw-base socket, and consume no more than five watts of power as determined according to §130(d).

§150(k)15: Lighting for parking lots and carports with a total of for 8 or more vehicles per site shall comply with the applicable requirements in Sections 130, 132, 134, and 147. Lighting for parking garages for 8 or more vehicles shall comply with the applicable requirements of Sections 130, 131, 134, and 146.

§150(k)16: Permanently installed lighting in the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires. EXCEPTION: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with the applicable requirements of §119.



STRUCTURAL CALCULATIONS

PREPARED FOR:

DATE:
March 27, 2014

PROJECT NO.:
14085

PROJECT NAME:
Pasolivo Residence

County of San Luis Obispo

PROJECT TYPE:
Existing Single-Story Residential Remodel

Building Division

PROJECT ADDRESS:
8530 Vineyard Drive
Paso Robles, CA 93446

FILE COPY

ARCHITECT:
Caron Architecture
1404 Broad Street
San Luis Obispo, CA 93401

COUNTY OF SAN LUIS OBISPO PLANNING AND BUILDING
 REVIEWED FOR CODE COMPLIANCE
 by Scott Marvel
 PMT 2013-02460 Date 9/30/14
 The approval of these plans shall not permit
 violations of county or state laws. The County
 may revoke this permit or require corrections if
 they are in error. These approved plans shall
 be made available when inspections are
 requested. All changes must be approved.

PROJECT ENGINEER:
Jeff W. Morgan, P.E.



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Agenda Item No. 32 Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015



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DESIGN PARAMETERS

Code : 2013 CBC (based upon the 2012 IBC)

Design Materials :

(Please refer to **General Notes & Specifications** for more detailed information)

Wood : Douglas Fir-Larch

Foundations:

<i>Concrete</i>	2500	psi
<i>Rebar (#5 & up)</i>	60	ksi
<i>Rebar (#3 & #4)</i>	40	ksi

Note:

The intent of lateral design is to prevent structural failures, in the event of seismic activities or high-winds, but not to prevent the damage of architectural finishes or systems. The lateral calculations herein conform to the specifications of the current California Building Code (CBC). Ashley & Vance Engineering Inc. provides no guarantees, expressed or implied, as to the adequacy of the CBC provisions.

These calculations, specifications, details and drawings are instruments of service and are the property of Ashley & Vance Engineering Inc. The information contained herein is for use on the specific project referenced above and shall not be used otherwise without the written authorization of Ashley & Vance Engineering Inc.

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Ashley & Vance

ENGINEERING, INC

Job: 14085 - Pasolivo Residence - Caron

Load Sheet

ROOF LOADS

Typical Roof Live Loads	20.0 psf
Typical Roof Dead Loads	
Asphalt Shingles	3.0 psf
1/2" Plywood	1.7 psf
Wood Framing	2.8 psf
10" Batt Insulation	0.8 psf
5/8" Gyp. Board Ceiling	2.8 psf
Misc. Mechanical	0.9 psf
Total Dead Load	12.0 psf

FLOOR LOADS

Typical Floor Live Loads	40.0 psf
Typical Floor Dead Loads	
Hardwood	4.0 psf
3/4" Plywood	2.5 psf
Wood Framing	3.3 psf
10" Batt Insulation	0.8 psf
5/8" Gyp. Board Ceiling	2.8 psf
Misc. Loads	1.6 psf
Total Dead Load	15.0 psf
Partition Load	
Assumed Partition Load	20.0 psf

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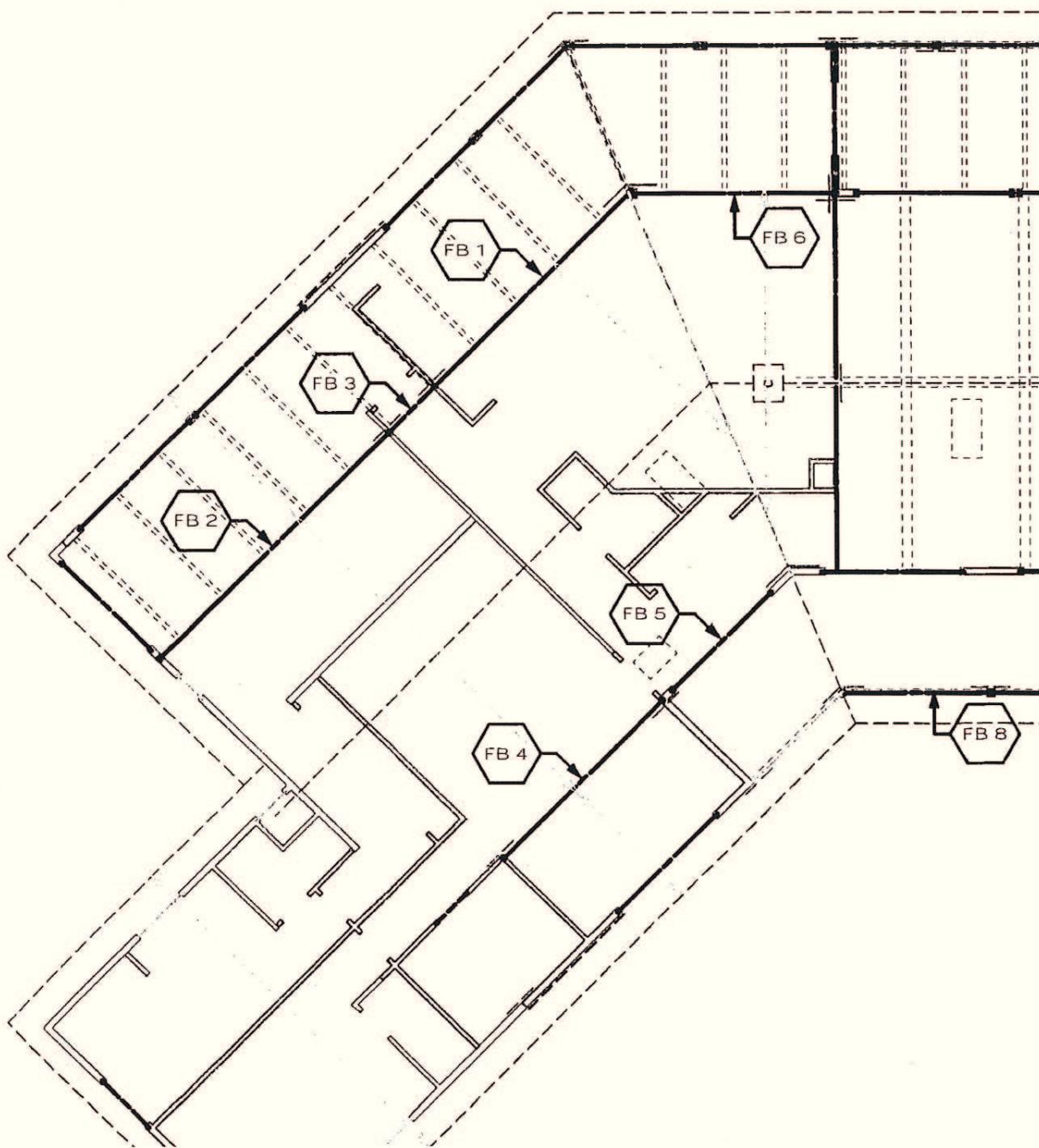


Pasolivo Residence

Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

Roof Framing Layout



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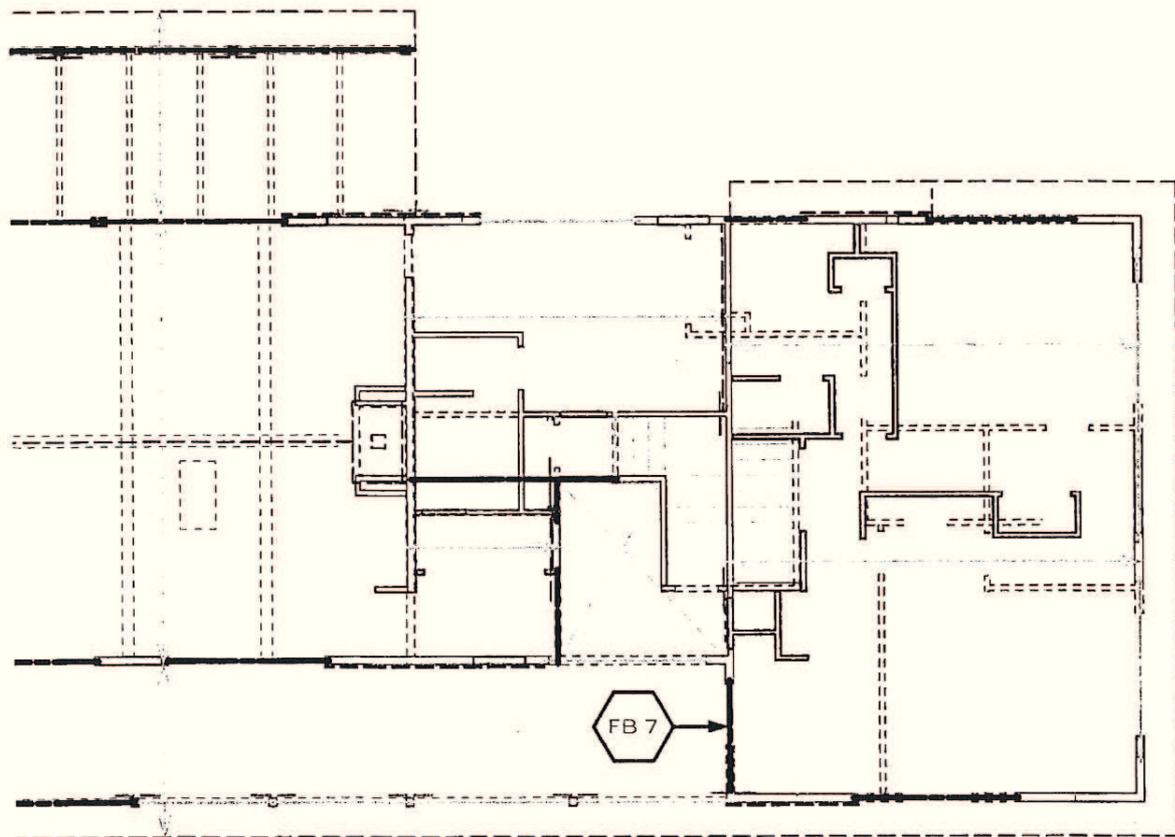


Pasolivo Residence

Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

Roof Framing Layout





Job: **14085 - Pasolivo Residence - Caron**

Beam/Joist Input Data

Description of Variables:		DL	LL
5r = 5 ft of roof trib	Roof	12	20 psf
4f = 4 ft of floor trib	Floor	15	40 psf
3g = 3 ft of garage trib	Garage	0	0 psf
2d = 2 ft of deck trib	Deck	11	40 psf
w = wall above and/or self wt.	Wall	10	0 psf

FLOOR BEAMS

BEAM	TRIB (ft)	SPANINFO		Wdl (plf)	Wll (plf)	SpanType	POINTLOADS			Notes
		L/Xa(ft)	Lu/Xb(ft)				Px(ft)	Pd(lbs)	Pl(lbs)	
FB 1	11.5 r			138	230					GLB 5-1/2" x 12"
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	3.0 w			30	0					
	TL	18.5	2.0	168	230	SimpleSpan				
FB 2	11.5 r			138	230					GLB 5-1/2" x 15"
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	3.0 w			30	0					
	TL	21.5	2.0	168	230	SimpleSpan				
FB 3	11.5 r			138	230					6x6 D.F. #2
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	3.0 w			30	0					
	TL	4.5	4.5	168	230	Cantilever				
FB 4	11.5 r			138	230					8x10 D.F. #1
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	3.0 w			30	0					
	TL	15.0	2.0	168	230	SimpleSpan				

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Job: **14085 - Pasolivo Residence - Caron**

Beam/Joist Input Data

Description of Variables:		DL	LL	
5r = 5 ft of roof trib	Roof	12	20	psf
4f = 4 ft of floor trib	Floor	15	40	psf
3g = 3 ft of garage trib	Garage	0	0	psf
2d = 2 ft of deck trib	Deck	11	40	psf
w = wall above and/or self wt.	Wall	10	0	psf

FLOOR BEAMS

BEAM	TRIB (ft)	SPANINFO		Wdl (plf)	Wll (plf)	SpanType	POINTLOADS			Notes
		L/Xa(ft)	Lu/Xb(ft)				Px(ft)	Pd(lbs)	Pl(lbs)	
FB 5	11.5 r			138	230					6x8 D.F. #1
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	3.0 w			30	0					
	TL	9.0	9.0	168	230	SimpleSpan				
FB 6	11.5 r			138	230					6x12 D.F. #1
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	3.0 w			30	0					
	TL	13.0	2.0	168	230	SimpleSpan				
FB 7	14.5 r			174	290					6x8 D.F. #1
	12.0 f			180	480					
	0.0 g			0	0					
	0.0 d			0	0					
	13.0 w			130	0					
	TL	6.0	6.0	484	770	SimpleSpan				
FB 8	6.0 r			72	120					6x8 D.F. #1
	0.0 f			0	0					
	0.0 g			0	0					
	0.0 d			0	0					
	1.0 w			10	0					
	TL	10.5	2.0	82	120	SimpleSpan				

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Job: **14085 - Pasolivo Residence - Caron**

adVanceBeam 3.0

Beam Name: **FB 1**
 Deflection Criteria: **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	18.5	168	168	230	230	

Reactions:

Support 1

Dead = 1,554 lbs
 Live = 2,127 lbs
 Total = **3,681** lbs

Support 2

Dead = 1,554 lbs
 Live = 2,127 lbs
 Total = **3,681** lbs

Stresses:

		Location
Maximum Shear	3,681 lb	0.0 ft
Maximum Moment	17,027 ft.lb	9.3
EI Required	7,875 k-ft ²	9.3 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/Δ_{tot}
1) GLB 2-1/2" x 15"	0.56	0.95	0.90	Bending	0.35	0.48	0.83	268
2) GLB 3-1/2" x 13-1/2"	0.44	0.83	0.88	Deflection	0.34	0.47	0.81	273
3) GLB 2-1/2" x 16-1/2"	0.51	0.80	0.67	Bending	0.26	0.36	0.62	357
4) GLB 6-3/4" x 10-1/2"	0.29	0.69	0.97	Deflection	0.38	0.52	0.89	248
5) GLB 3-1/2" x 15"	0.40	0.67	0.64	Bending	0.25	0.34	0.59	375
6) GLB 5-1/2" x 12"	0.32	0.65	0.80	Deflection	0.31	0.43	0.74	302
7) GLB 2-1/2" x 18"	0.46	0.68	0.52	Bending	0.20	0.28	0.48	463
8) GLB 2-1/2" x 19-1/2"	0.43	0.58	0.41	Bending	0.16	0.22	0.38	588
9) GLB 3-1/2" x 16-1/2"	0.36	0.56	0.48	Bending	0.19	0.26	0.44	499
10) GLB 8-3/4" x 10-1/2"	0.23	0.53	0.75	Deflection	0.29	0.40	0.69	322

Use: GLB 5-1/2" x 12"



Job: 14085 - Pasolivo Residence - Caron

adVanceBeam 3.0

Beam Name: **FB 2**
 Deflection Criteria: **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	21.5	168	168	230	230	

Reactions:

Support 1

Dead = 1,806 lbs
 Live = 2,472 lbs
Total = 4,278 lbs

Support 2

Dead = 1,806 lbs
 Live = 2,472 lbs
Total = 4,278 lbs

Stresses:

		Location
Maximum Shear	4,278 lb	0.0 ft
Maximum Moment	22,997 ft.lb	10.8
EI Required	12,361 k-ft ²	10.8 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/ Δ_{tot}
1) GLB 2-1/2" x 18"	0.54	0.92	0.81	Bending	0.37	0.51	0.87	295
2) GLB 2-1/2" x 19-1/2"	0.50	0.79	0.64	Bending	0.29	0.40	0.69	375
3) GLB 3-1/2" x 16-1/2"	0.42	0.76	0.75	Bending	0.34	0.47	0.81	318
4) GLB 5-1/2" x 13-1/2"	0.33	0.70	0.88	Deflection	0.40	0.54	0.94	274
5) GLB 2-1/2" x 21"	0.46	0.69	0.51	Bending	0.23	0.32	0.55	468
6) GLB 3-1/2" x 18"	0.38	0.64	0.58	Bending	0.26	0.36	0.62	413
7) GLB 6-3/4" x 13-1/2"	0.27	0.57	0.71	Deflection	0.32	0.44	0.77	336
8) GLB 5-1/2" x 15"	0.29	0.57	0.64	Deflection	0.29	0.40	0.69	375
9) GLB 8-3/4" x 12"	0.23	0.55	0.78	Deflection	0.36	0.49	0.84	306
10) GLB 3-1/2" x 19-1/2"	0.35	0.55	0.46	Bending	0.21	0.28	0.49	525

Use: GLB 5-1/2" x 15"



Job: 14085 - Pasolivo Residence - Caron

adVanceBeam 3.0

Beam Name: **FB 3**
 Deflection Criteria: **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Cantilever	0.0	4.5	168	168	230	230	

Reactions:

		Support 1	
	378 lbs	Dead =	378 lbs
	517 lbs	Live =	517 lbs
	895 lbs	Total =	895 lbs

Stresses:

		Location
Maximum Shear	895 lb	0.0 ft
Maximum Moment	1,007 ft.lb	2.3
EI Required	113 k-ft ²	2.3 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/Δ_{tot}
1) 4x6 D.F. #2	0.39	0.59	0.21	Bending	0.02	0.03	0.05	1142
2) 6x6 D.F. #2	0.25	0.50	0.16	Bending	0.02	0.02	0.04	1458
3) 4x8 D.F. #1	0.29	0.31	0.09	Bending	0.01	0.01	0.02	2779
4) 4x10 D.F. #1	0.23	0.20	0.04	Shear	0.00	0.01	0.01	5771
5) 6x8 D.F. #1	0.18	0.17	0.05	Shear	0.01	0.01	0.01	4549
6) 8x8 D.F. #1	0.13	0.13	0.04	Shear	0.00	0.01	0.01	6204
7) 4x12 D.F. #1	0.19	0.15	0.02	Shear	0.00	0.00	0.01	10382
8) 6x10 D.F. #1	0.14	0.11	0.03	Shear	0.00	0.00	0.01	9246
9) 4x14 D.F. #1	0.16	0.12	0.01	Shear	0.00	0.00	0.00	16961
10) 8x10 D.F. #1	0.10	0.08	0.02	Shear	0.00	0.00	0.00	12608

Use: 6x6 D.F. #2

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Job: **14085 - Pasolivo Residence - Caron**

adVanceBeam 3.0

Beam Name: **FB 4**
 Deflection Criteria: **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	15.0	168	168	230	230	

Reactions:

Support 1

Dead = 1,260 lbs
 Live = 1,725 lbs
Total = 2,985 lbs

Support 2

Dead = 1,260 lbs
 Live = 1,725 lbs
Total = 2,985 lbs

Stresses:

		Location
Maximum Shear	2,985 lb	0.0 ft
Maximum Moment	11,194 ft.lb	7.5
EI Required	4,198 k-ft ²	7.5 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/ Δ_{tot}
1) 8x10 D.F. #1	0.35	0.88	0.71	Bending	0.22	0.31	0.53	340
2) 6x12 D.F. #1	0.39	0.82	0.54	Bending	0.17	0.23	0.41	443
3) 10x10 D.F. #1	0.28	0.70	0.56	Bending	0.18	0.24	0.42	431
4) 8x12 D.F. #1	0.29	0.60	0.40	Bending	0.13	0.17	0.30	604
5) 6x14 D.F. #1	0.34	0.61	0.34	Bending	0.11	0.15	0.25	716
6) 10x12 D.F. #1	0.23	0.48	0.31	Bending	0.10	0.14	0.24	765
7) 6x16 D.F. #1	0.29	0.47	0.22	Bending	0.07	0.10	0.17	1084
8) 8x14 D.F. #1	0.25	0.44	0.25	Bending	0.09	0.11	0.18	977
9) 6x18 D.F. #1	0.26	0.37	0.15	Bending	0.05	0.07	0.12	1560
10) 10x14 D.F. #1	0.19	0.35	0.19	Bending	0.06	0.08	0.15	1237

Use: 6x12 D.F. #1



Job: **14085 - Pasolivo Residence - Caron**

adVanceBeam 3.0

Beam Name: **FB 5**
 Deflection Criteria **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	9.0	168	168	230	230	

Reactions:

Support 1

Dead = 756 lbs
 Live = 1,035 lbs
Total = 1,791 lbs

Support 2

Dead = 756 lbs
 Live = 1,035 lbs
Total = 1,791 lbs

Stresses:

		Location
Maximum Shear	1,791 lb	0.0 ft
Maximum Moment	4,030 ft.lb	4.5
EI Required	907 k-ft ²	4.5 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/Δ _{rot}
1) 4x10 D.F. #1	0.46	0.82	0.33	Bending	0.06	0.09	0.15	721
2) 6x8 D.F. #1	0.36	0.70	0.42	Bending	0.08	0.11	0.19	569
3) 8x8 D.F. #1	0.27	0.51	0.31	Bending	0.06	0.08	0.14	775
4) 4x12 D.F. #1	0.38	0.61	0.18	Bending	0.04	0.05	0.08	1298
5) 6x10 D.F. #1	0.29	0.44	0.21	Bending	0.04	0.05	0.09	1156
6) 4x14 D.F. #1	0.32	0.49	0.11	Bending	0.02	0.03	0.05	2120
7) 8x10 D.F. #1	0.21	0.32	0.15	Bending	0.03	0.04	0.07	1576
8) 6x12 D.F. #1	0.24	0.30	0.12	Bending	0.02	0.03	0.05	2050
9) 10x10 D.F. #1	0.17	0.25	0.12	Bending	0.02	0.03	0.05	1996
10) 8x12 D.F. #1	0.17	0.22	0.09	Bending	0.02	0.02	0.04	2796

Use: 6x8 D.F. #1



Job: 14085 - Pasolivo Residence - Caron

adVanceBeam 3.0

Beam Name: **FB 6**
 Deflection Criteria **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	13.0	168	168	230	230	

Reactions:

Support 1

Dead = 1,092 lbs
 Live = 1,495 lbs
Total = 2,587 lbs

Support 2

Dead = 1,092 lbs
 Live = 1,495 lbs
Total = 2,587 lbs

Stresses:

		Location
Maximum Shear	2,587 lb	0.0 ft
Maximum Moment	8,408 ft.lb	6.5
EI Required	2,733 k-ft ²	6.5 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/Δ_{tot}
1) 6x10 D.F. #1	0.41	0.91	0.63	Bending	0.17	0.24	0.41	383
2) 8x10 D.F. #1	0.30	0.66	0.46	Bending	0.13	0.17	0.30	523
3) 6x12 D.F. #1	0.34	0.62	0.35	Bending	0.10	0.13	0.23	680
4) 10x10 D.F. #1	0.24	0.52	0.36	Bending	0.10	0.14	0.24	662
5) 8x12 D.F. #1	0.25	0.45	0.26	Bending	0.07	0.10	0.17	928
6) 6x14 D.F. #1	0.29	0.45	0.22	Bending	0.06	0.08	0.14	1100
7) 10x12 D.F. #1	0.20	0.36	0.20	Bending	0.06	0.08	0.13	1175
8) 6x16 D.F. #1	0.25	0.35	0.14	Bending	0.04	0.05	0.09	1666
9) 8x14 D.F. #1	0.21	0.33	0.16	Bending	0.04	0.06	0.10	1501
10) 6x18 D.F. #1	0.22	0.28	0.10	Bending	0.03	0.04	0.07	2397

Use: 6x12 D.F. #1



Job: **14085 - Pasolivo Residence - Caron**

adVanceBeam 3.0

Beam Name: **FB 7**
 Deflection Criteria **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	6.0	484	484	770	770	(plf)

Reactions:

Support 1

Dead = 1,452 lbs
 Live = 2,310 lbs
Total = 3,762 lbs

Support 2

Dead = 1,452 lbs
 Live = 2,310 lbs
Total = 3,762 lbs

Stresses:

		Location
Maximum Shear	3,762 lb	0.0 ft
Maximum Moment	5,643 ft.lb	3.0
EI Required	846 k-ft ²	3.0 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/Δ_{tot}
1) 6x8 D.F. #1	0.76	0.98	0.39	Bending	0.05	0.07	0.12	609
2) 8x8 D.F. #1	0.56	0.71	0.29	Bending	0.03	0.05	0.09	831
3) 4x12 D.F. #1	0.80	0.84	0.17	Bending	0.02	0.03	0.05	1390
4) 6x10 D.F. #1	0.60	0.61	0.19	Bending	0.02	0.04	0.06	1238
5) 4x14 D.F. #1	0.68	0.68	0.11	Bending	0.01	0.02	0.03	2271
6) 8x10 D.F. #1	0.44	0.45	0.14	Bending	0.02	0.03	0.04	1688
7) 6x12 D.F. #1	0.50	0.42	0.11	Shear	0.01	0.02	0.03	2196
8) 10x10 D.F. #1	0.35	0.35	0.11	Bending	0.01	0.02	0.03	2138
9) 8x12 D.F. #1	0.36	0.30	0.08	Shear	0.01	0.01	0.02	2995
10) 6x14 D.F. #1	0.42	0.31	0.07	Shear	0.01	0.01	0.02	3553

Use: 6x8 D.F. #1



Job: 14085 - Pasolivo Residence - Caron

adVanceBeam 3.0

Beam Name: **FB 8**
 Deflection Criteria: **L/ 240**
 Load Duration: **Normal**

Spans and Loads	Position		DL		LL		(plf)
	Xa (ft)	Xb (ft)	Wa	Wb	Wa	Wb	
Simple Span	0.0	10.5	82	82	120	120	

Reactions:

Support 1

Dead = 430 lbs
 Live = 630 lbs
Total = 1,060 lbs

Support 2

Dead = 430 lbs
 Live = 630 lbs
Total = 1,060 lbs

Stresses:

		Location
Maximum Shear	1,060 lb	0.0 ft
Maximum Moment	2,784 ft.lb	5.3
EI Required	731 k-ft ²	5.3 ft

Design:

Beam Options:	f_v/F_v	f_b/F_b	EI_{req}/EI	Gov. Case	Deflections, Δ (in)			
					dl	ll	tl	L/Δ_{tot}
1) 4x8 D.F. #1	0.35	0.84	0.56	Bending	0.12	0.17	0.29	431
2) 4x10 D.F. #1	0.27	0.56	0.27	Bending	0.06	0.08	0.14	895
3) 6x8 D.F. #1	0.21	0.48	0.34	Bending	0.07	0.11	0.18	706
4) 8x8 D.F. #1	0.16	0.35	0.25	Bending	0.05	0.08	0.13	962
5) 4x12 D.F. #1	0.22	0.41	0.15	Bending	0.03	0.05	0.08	1610
6) 6x10 D.F. #1	0.17	0.30	0.17	Bending	0.04	0.05	0.09	1434
7) 4x14 D.F. #1	0.19	0.33	0.09	Bending	0.02	0.03	0.05	2631
8) 8x10 D.F. #1	0.12	0.22	0.12	Bending	0.03	0.04	0.06	1955
9) 6x12 D.F. #1	0.14	0.20	0.09	Bending	0.02	0.03	0.05	2544
10) 10x10 D.F. #1	0.10	0.17	0.10	Bending	0.02	0.03	0.05	2477

Use: 6x8 D.F. #1

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Pasolivo Residence

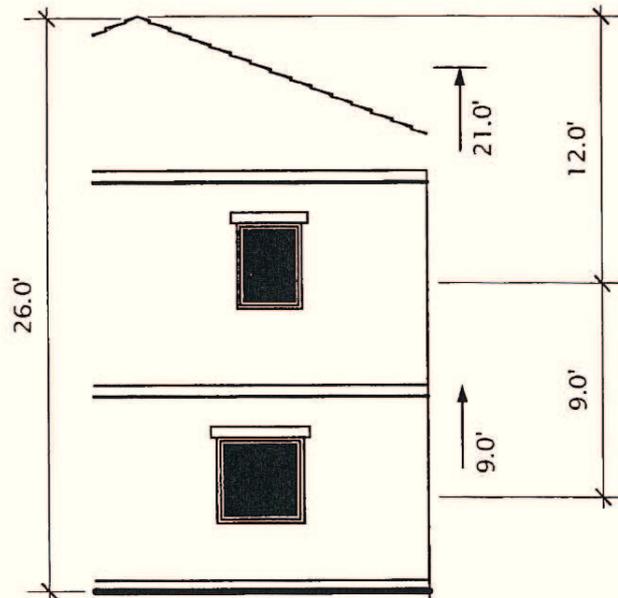
Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

LATERAL ANALYSIS

DL: 12 psf
PL: 5 psf

DL: 15 psf
PL: 10 psf



SEISMIC = 0.1538W (R = 6.5)

WIND = 23.3 psf (EXP. B)

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Job: **14085 - Pasolivo Residence - Caron**

ASD Lateral Force Analysis 2013 CBC

SEISMIC DESIGN BASE SHEAR (STATIC)

Risk Category: II (CBC Table 1604.5)
 $I_e = 1.00$ (ASCE Table 11.5-1)
 $R = 6.5$ (ASCE Table 12.2-1) $\Omega_o = 2.5$ (ASCE Table 12.2-1)
 $C_d = 4$ (ASCE Table 12.2-1) Reduced by 1/2 for flexible diaphragms per ASCE Table 12.2-1

SEISMIC GROUND MOTION VALUES

Zip Code: 93446 (Maximum Seismic Coefficients Used)
 Site Classification = D

Short Period

$S_S = 1.500$
 $F_a = 1.000$ (CBC Table 1613.5.3(1))
 $S_{MS} = 1.500$ (CBC Eq. 16-37)
 $S_{DS} = 1.000$ (CBC Eq. 16-39)

Long Period

$S_1 = 0.600$
 $F_v = 1.500$ (CBC Table 1613.5.3(2))
 $S_{M1} = 0.900$ (CBC Eq. 16-38)
 $S_{D1} = 0.600$ (CBC Eq. 16-40)

APPROXIMATE FUNDAMENTAL PERIOD

Building Type: All Other Structural Systems
 Maximum Height = 26.0 ft

$T_a = 0.23$ sec (ASCE Eq. 12.8-7)
 $T_0 = 0.12$ sec
 $T_S = 0.60$ sec

$T_L = 8$ sec (ASCE Figure 22-16)

SEISMIC DESIGN CATEGORY

SDC = D (ASCE 11.6)

SEISMIC BASE SHEAR

$C_S = 0.1538$ Govs (ASCE Eq. 12.8-2)
 $C_{S\ MAX} = 0.4008$ (ASCE Eq. 12.8-3 & Eq. 12.8-4)
 $C_{S\ MIN} = 0.0462$ (ASCE Eq. 12.8-5 & Eq. 12.8-6)
 $C_S = 0.1538$

$$V = \boxed{0.1538 * W}$$

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Job: **14085 - Pasolivo Residence - Caron**

ASD Lateral Force Analysis 2013 CBC

$C_s = 0.154$ $k = 1.00$ (ASCE Eq. 12.8-12)
--

VERTICAL SEISMIC FORCE DISTRIBUTION (ASCE 12.8.3)										
Level	Height (ft)	DL (psf)	PL (psf)	Floor Area (sq.ft.)	Weight (lbs)	wh^k (k-ft)	C_v (12.8-12)	Story Shear (lbs)	Story Shear (psf)	% Total
L4	21.0	12.0	5.0	1592	27064	568.3	0.279	8166	5.1	27.9%
L3	9.0	15.0	10.0	6524	163100	1467.9	0.721	21090	3.2	100.0%
Totals:					190164	2036.2	1.0	29256	8.4	

DIAPHRAGM LOADS (ASCE 12.10)											
Level	NORTH-SOUTH DIRECTION						EAST-WEST DIRECTION				
	DL (psf)	PL (psf)	(12.10-1) (psf)	Max (psf)	Min (psf)	Gov (psf)	PL (psf)	(12.10-1) (psf)	Max (psf)	Min (psf)	Gov (psf)
L4	12	5	5.1	6.8	3.4	5.1	5	5.1	6.8	3.4	5.1
L3	15	10	7.2	10.0	5.0	7.2	10	7.2	10.0	5.0	7.2



Job: 14085 - Pasolivo Residence - Caron

ASD Lateral Force Analysis 2013 CBC

ASCE Ch. 28 Part 2: SIMPLIFIED ENVELOPE PROCEDURE

DESIGN WIND PRESSURE

Exposure Category = B (CBC 1609.4.2)
 Roof Pitch = 6.0:12 ----- Angle = 27 °
 Eave Height = 17.0 ft
 Maximum Height = 26.0 ft
 Mean Roof Height = 21.5 ft

N-S Dimension 48.0 ft
 E-W Dimension 130.0 ft
 Enclosure: Enclosed
 a = 4.8 ft

Main Wind Force:

$V_{ult} = 110$ mph (Figure 1609C)
 $V_{asd} = 85$ mph
 $\lambda = 1.00$ (ASCE Figure 28.6-1)
 $K_{zt} = 1.00$ (ASCE 26.8 & Fig. 28.6-1)
 $I_w = 1.00$ (ASCE 7 Table 1.5-2)

$P_s = \lambda * K_{zt} * P_{s30}$ (ASCE Eq. 28.6-1)

Zone	P_{s30} (psf)	P_s (psf)
A	23.32	23.3
B	7.31	16.0
C	17.34	17.3
D	6.44	16.0

WIND DISTRIBUTION ON NORTH-SOUTH WALLS

Level	Zone A			Zone B			Zone C			Zone D			0.6 x Total Wind	
	Height (ft)	Width (ft)	Force (lbs)	Height (ft)	Width (ft)	Force (lbs)	Height (ft)	Width (ft)	Force (lbs)	Height (ft)	Width (ft)	Force (lbs)	(lbs)	(plf)
L4	12.0	9.6	2686	12.0	9.6	1843	12.0	38.4	7989	12.0	38.4	7373	11935	248.6
L3	9.0	9.6	2015	9.0	9.6	1382	9.0	38.4	5992	9.0	38.4	5530	8951	186.5

WIND DISTRIBUTION ON EAST-WEST WALLS

Level	Zone A			Zone B			Zone C			Zone D			0.6 x Total Wind	
	Height (ft)	Width (ft)	Force (lbs)	Height (ft)	Width (ft)	Force (lbs)	Height (ft)	Width (ft)	Force (lbs)	Height (ft)	Width (ft)	Force (lbs)	(lbs)	(plf)
L4	12.0	9.6	2686	12.0	9.6	1843	12.0	120.4	25049	12.0	120.4	23117	31617	243.2
L3	9.0	9.6	2015	9.0	9.6	1382	9.0	120.4	18787	9.0	120.4	17338	23713	182.4

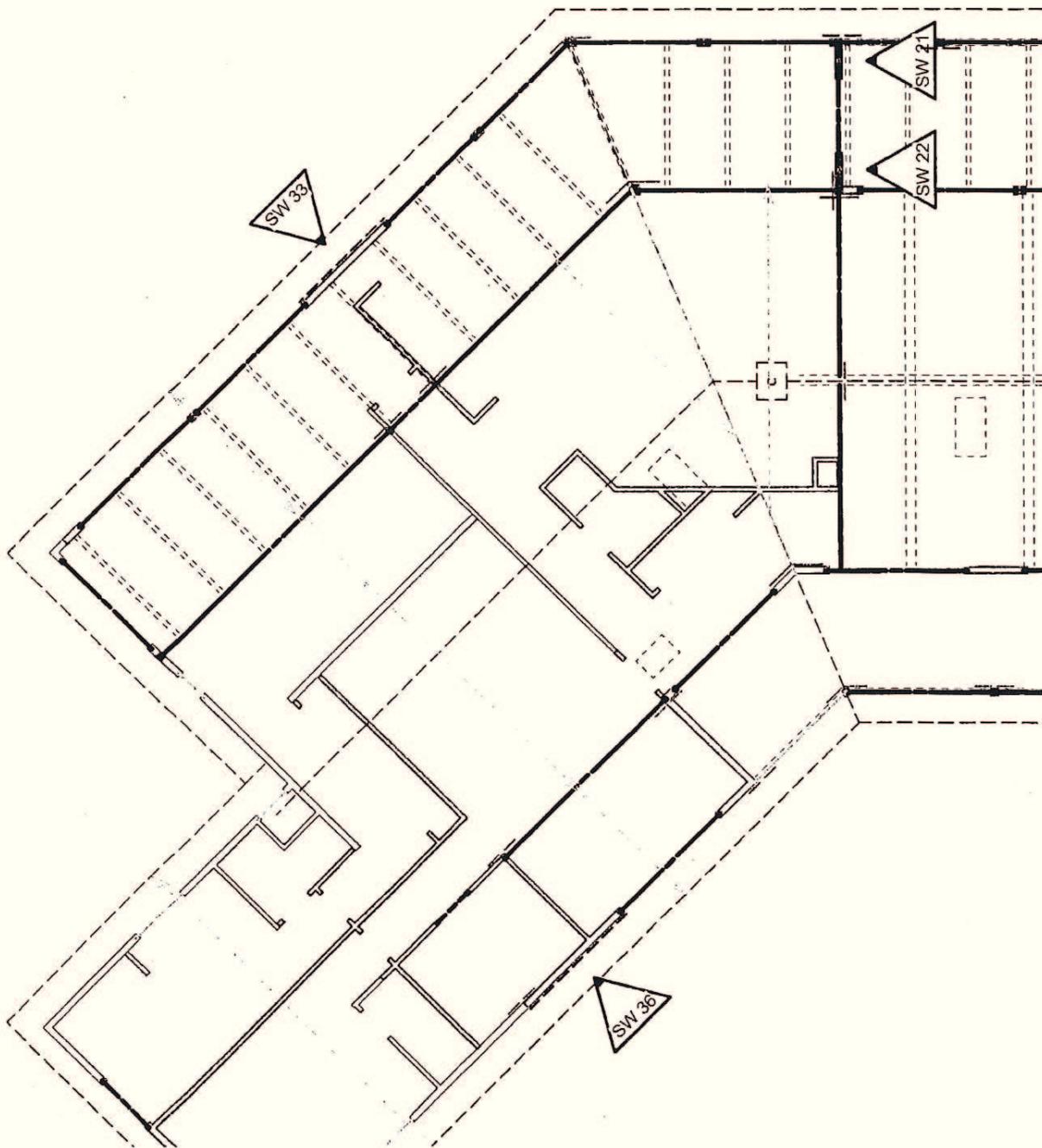


Pasolivo Residence

Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

Shearwall Layout



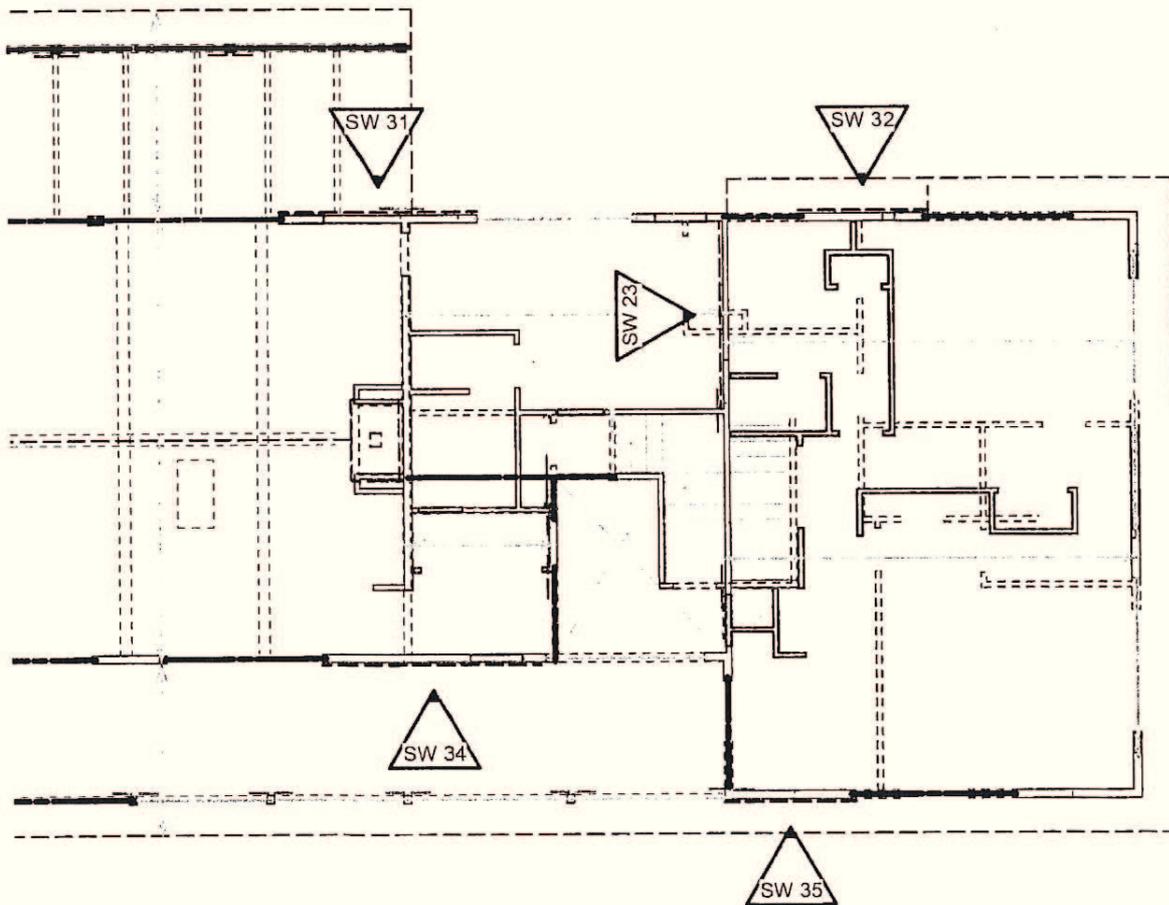


Pasolivo Residence

Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

Shearwall Layout





Job: **14085 - Pasolivo Residence - Caron**

ASD Lateral Force Analysis 2013 CBC

Building Forces Simple		
Level	Seis. (psf)	Wind (plf)
L4	3.6	248.6
L3	2.3	186.5
Totals: 5.9 435.1		

TYPE	Materials	Sides	EQ / Wind*
6	1/2" cdx 10d @ 6"	1	310 / 350 plf
4	1/2" cdx 10d @ 4"	1	460 / 600 plf
3	1/2" cdx 10d @ 3"	1	600 / 840 plf
2	1/2" cdx 10d @ 2"	1	770 / 1078 plf
44	1/2" cdx 10d @ 4"	2	920 / 1288 plf
33	1/2" cdx 10d @ 3"	2	1330 / 1862 plf

Total Force = Trib Shear + Add'l Shear

Total Shear = Total Force / Wall Length

*Per CBC 2013 Section 2306.4.1, shearwall capacities have been increased by 40% when walls are governed by wind loading.

Wall ID	Wall Len (ft)	Wall Ht. (ft)	% of Line Load	Seismic Len (ft)	Trib Width (ft)	Wind Trib (ft)	Shear (lbs)		Add'l (lbs)		Wall H/L Ratio	Gov. Force (lbs)	Wall Shear (plf)	Gov Case	Type
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S-2.2 Floor Framing

NS

SW 21	1.00	9.00	50%	48.2	37.0	35.0	4032	6527	0	0	9:1	3263	3263	Wind	A
SW 22	1.00	9.00	50%	48.2	37.0	35.0	4032	6527	0	0	9:1	3263	3263	Wind	A
SW 23	10.50	9.00	100%	38.2	20.5	18.0	1770	3357	2814	4240	6/7:1	7596	723	Wind	3

EW

SW 31	11.00	9.00	59%	129.1	19.1	18.0	5586	3357	2814	4747	5/6:1	4956	451	Seis	4
SW 32	7.50	9.00	41%	129.1	19.1	18.0	5586	3357	2814	4747	1 1/5:1	3444	459	Seis	4
SW 33	8.00	9.00	100%	91.1	7.9	6.0	1637	1119	0	0	1 1/8:1	1637	205	Seis	6
SW 34	12.00	9.00	100%	116.3	17.8	18.0	4693	3357	1125	4240	3/4:1	5819	485	Seis	3
SW 35	7.50	9.00	45%	113.2	8.7	6.0	2219	1119	1814	4634	1 1/5:1	2589	345	Wind	6
SW 36	9.00	9.00	55%	113.2	8.7	6.0	2219	1119	0	0	1:1	1220	136	Seis	6

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Job: **14085 - Pasolivo Residence - Caron**

ASD Lateral Force Analysis 2013 CBC

REDUNDANCY FACTOR CALCULATION

Is the structure regular in plan at all levels? NO
 Is the structure light framed construction? YES
 SDC D

> 35% Base Shear?	Wall ID	ASCE 12.3.4.2a			ρ at Level	ρ per wall
		Wall Capacity (lbs)	H/L	% Capacity		
YES	3-2.2 Floor Framing					
	NS	13614	Story Strength)		1.0	
	SW 21	3657	9.00	27%		1.0
	SW 22	3657	9.00	27%		1.0
	SW 23	6300	0.86	N/A		1.0
	EW	23305	Story Strength)		1.0	
	SW 31	5060	0.82	N/A		1.0
	SW 32	3450	1.20	15%		1.0
	SW 33	2480	1.13	11%		1.0
	SW 34	7200	0.75	N/A		1.0
	SW 35	2325	1.20	10%		1.0
	SW 36	2790	1.00	N/A		1.0

Job: **14085 - Pasolivo Residence - Caron**

ASD Lateral Force Analysis 2013 CBC

Description of Variables:	L	Length of wall	Pl	Left point load
	H	Height of wall	Px	Point load at Xp
	v	Unit shear on wall	Pr	Right point load
	Wt	Unit weight of wall	Xp	Location of Px
	Wdl	Dead load on wall	Wx	Location of Wall Above

Seismic: HD = $(p0.7M_{OT} - (0.6-0. (CBC 1605.3.2) (ASCE 12.4.2.3)$ Wind: HD = $(0.6M_{OT} - 0.6M_R) (CBC 1605.3.2) (ASCE 2.4.1)$

Wall ID	L (ft)	H (ft)	V (lbs)	Wt (psf)	Wdl (plf)	Pl (lbs)	Px (lbs)	Pr (lbs)	Xp (ft)	Wall Above	Aligned Sides	Gov. Case
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S-2.2 Floor Framing**NS**

SW 21	0.50	9.00	3263	10	30	0	0	0	0	0	N/A	Wind
SW 22	0.50	9.00	3263	10	30	0	0	0	0	0	N/A	Wind
SW 23	10.00	9.00	7596	10	30	0	0	0	0	0	N/A	Wind

EW

SW 31	10.50	9.00	4956	10	30	0	0	0	0	0	N/A	Seis
SW 32	7.00	9.00	3444	10	30	0	0	0	0	0	N/A	Seis
SW 33	7.50	9.00	1637	10	30	0	0	0	0	0	N/A	Seis
SW 34	11.50	9.00	7596	10	192	0	0	0	0	0	N/A	Wind
SW 35	7.00	9.00	2589	10	30	0	0	0	0	0	N/A	Wind
SW 36	8.50	9.00	1220	10	30	0	0	0	0	0	N/A	Seis

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Job: **14085 - Pasolivo Residence - Caron**

ASD Lateral Force Analysis 2013 CBC

Description of Variables:	Mot	Overturning Moment
	Mr Left	Resisting Moment about the Left side of the wall
	Mr Right	Resisting Moment about the Right side of the wall
	HD Left	Hold down force on the left side of the wall
	HD Right	Hold down force on the right side of the wall

$$\text{Seismic: } HD = (\rho 0.7 M_{OT} - (0.6 - 0.14 * S_{DS}) M_R) / L \quad (\text{ASCE 12.4.2.3})$$

$$\text{Wind: } HD = (0.6 M_{OT} - 0.6 M_R) / L \quad (\text{ASCE 2.4.1})$$

Wall ID	M _{OT} (lb-ft)	M _{R Left} (lb-ft)	M _{R Right} (lb-ft)	HD Left (lb)	HD Right (lb)	Gov.	Use Left	Use Right
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S-2.2 Floor Framing**NS**

SW 21	48951	30	30	18250	18250	Wind	SWSB	SWSB
SW 22	48951	30	30	18250	18250	Wind	SWSB	SWSB
SW 23	113946	6300	6300	6459	6459	Wind	H DU8	H DU8

EW

SW 31	63717	6930	6930	3944	3944	Seis	HTT5	HTT5
SW 32	44278	3150	3150	4221	4221	Seis	HTT5	HTT5
SW 33	21042	3600	3600	1743	1743	Seis	HTT5	HTT5
SW 34	97668	19458	19458	5167	5167	Wind	H DU8	H DU8
SW 35	38829	3150	3150	3058	3058	Wind	HTT5	HTT5
SW 36	15691	4590	4590	1044	1044	Seis	HTT5	HTT5

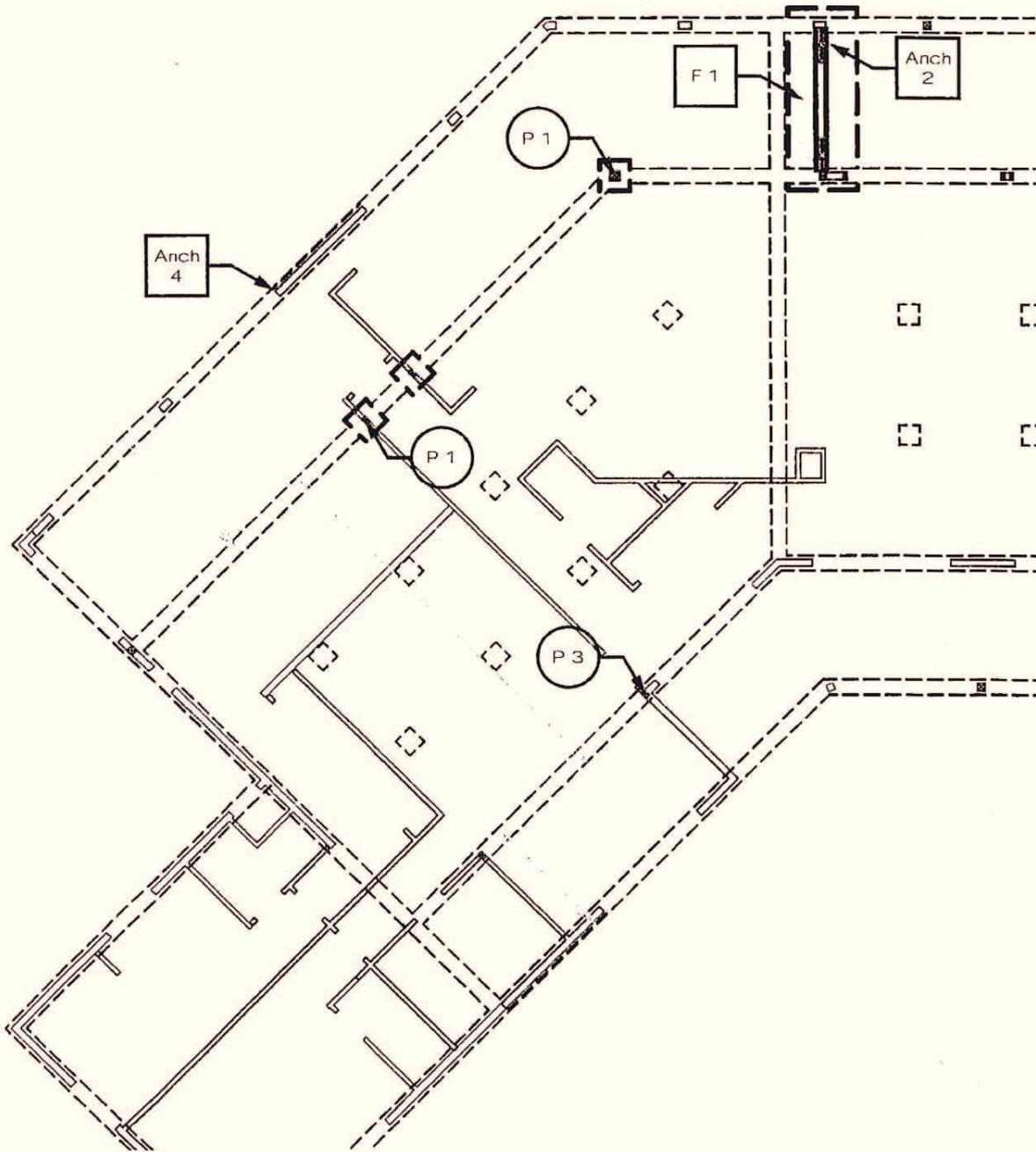


Pasolivo Residence

Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

Foundation Layout



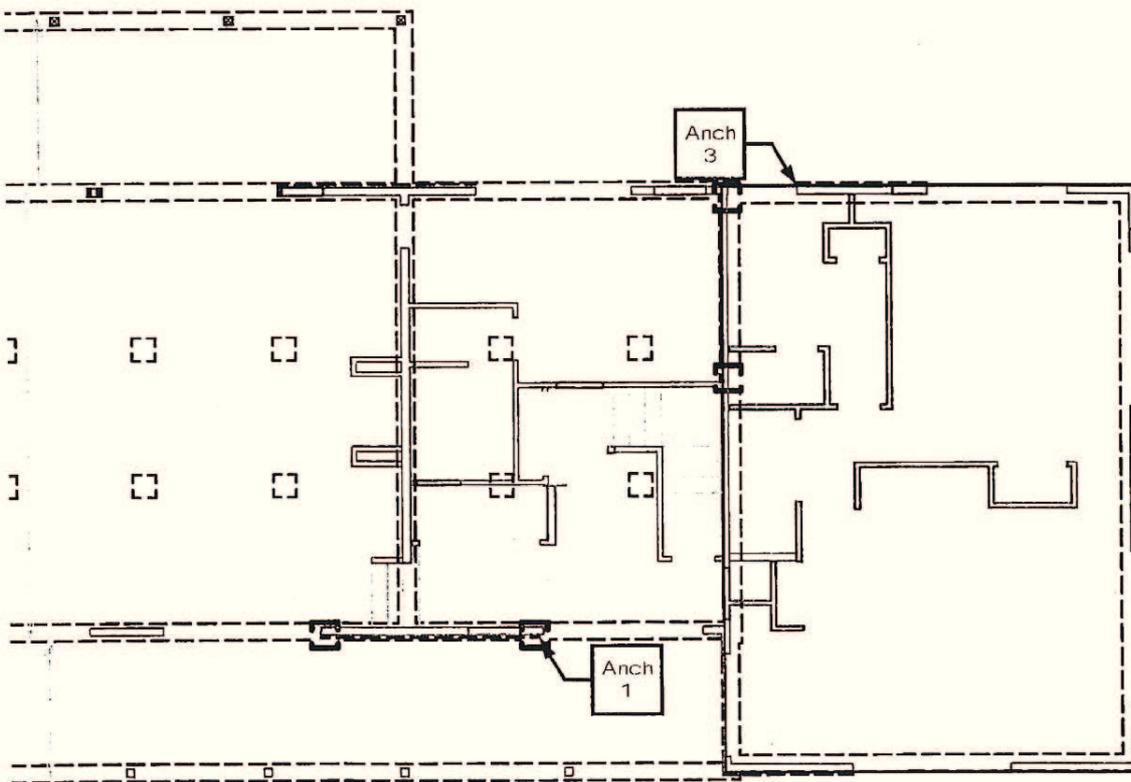


Pasolivo Residence

Job No.: 14085

8530 Vineyard Drive
Paso Robles, California

Foundation Layout



using the Settings menu item
and then using the "Printing &
Title Block" selection.
Title Block Line 6

Printed: 27 MAR 2014, 3:16PM

Combined Footing

File = d:\LOCAL~1\Shared\SunVALLJOB-112014AL-1114085-11\Calspaso\fo.ec6
ENERCALC, INC. 1983-2014, Build: 6.14.1.23, Ver: 6.14.1.23

Lic. #: KW-06006695

Licensee: **ASHLEY & VANCE ENGINEERING INC.**

Description: F1

Code References

Calculations per ACI 318-11, IBC 2012, CBC 2013, ASCE 7-10
Load Combinations Used: ASCE 7-05

General Information

Material Properties

f_c : Concrete 28 day strength		2.50 ksi
f_y : Rebar Yield		60 ksi
E_c : Concrete Elastic Modulus		3122 ksi
Concrete Density		145 pcf
ϕ : Phi Values	Flexure :	0.9
	Shear :	0.75

Analysis/Design Settings

Calculate footing weight as dead load ?	Yes
Calculate Pedestal weight as dead load ?	No
Min Steel % Bending Reinf (based on 'd')	
Min Allow % Temp Reinf (based on thick)	0.0018
Min. Overturning Safety Factor	1 : 1
Min. Sliding Safety Factor	1 : 1

Soil Information

Allowable Soil Bearing	1.50 ksf
Increase Bearing By Footing Weight	No
Soil Passive Sliding Resistance	250 pcf
<i>(Uses entry for "Footing base depth below soil surface" for force)</i>	
Coefficient of Soil/Concrete Friction	0.3

Soil Bearing Increase

Footing base depth below soil surface	ft
Increases based on footing Depth	
Allowable pressure increase per foot when base of footing is below	ksf
Increases based on footing Width	
Allowable pressure increase per foot when maximum length or width is greater than	2.0 ft
Maximum Allowed Bearing Pressure	2.0 ksf
<i>(A value of zero implies no limit)</i>	
Adjusted Allowable Soil Bearing	1.50 ksf
<i>(Allowable Soil Bearing adjusted for footing weight and depth & width increases as specified by user.)</i>	

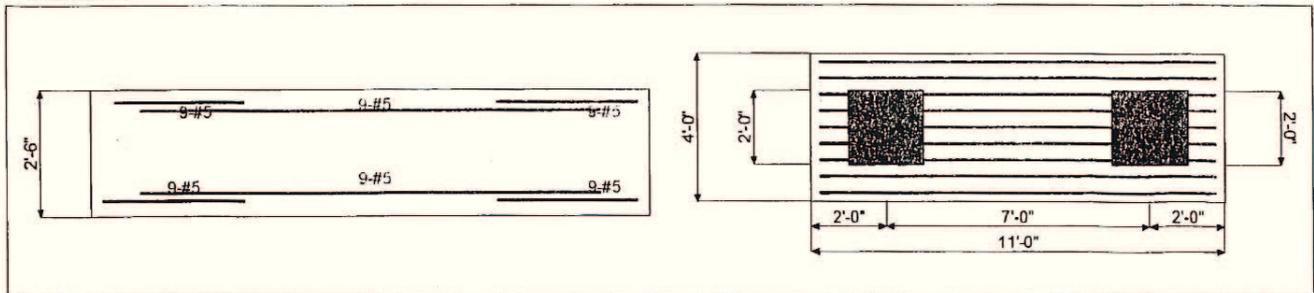
Dimensions & Reinforcing

Distance Left of Column #1 =	2 ft	Pedestal dimensions...	Col #1	Col #2
Between Columns =	7.0 ft	Sq. Dim. =	24.0	24.0 in
Distance Right of Column #2 =	2.0 ft	Height =		in
Total Footing Length =	11.0 ft			
Footing Width =	4.0 ft			
Footing Thickness =	30.0 in			
Rebar Center to Concrete Edge @ Top =	3 in			
Rebar Center to Concrete Edge @ Bottom =	3.50 in			

Bars left of Col #1	Count	Size #	As Actual	As Req'd
Bottom Bars	9.0	5	2.790	2.592 in ²
Top Bars	9.0	5	2.790	2.592 in ²
Bars Btwn Cols				
Bottom Bars	9.0	5	2.790	2.592 in ²
Top Bars	9.0	5	2.790	2.592 in ²
Bars Right of Col #2				
Bottom Bars	9.0	5	2.790	2.592 in ²
Top Bars	9.0	5	2.790	0.0 in ²

Applied Loads

Applied @ Left Column	D	Lr	L	S	W	E	H
Axial Load Downward =	1.0	1.0					k
Moment (+CW) =	29.40						k-ft
Shear (+X) =							k
Applied @ Right Column							
Axial Load Downward =	1.0	1.0					k
Moment (+CW) =	29.40						k-ft
Shear (+X) =							k
Overburden							



B29

using the Settings menu item
and then using the "Printing &
Title Block" selection.
Title Block Line 6

Printed: 27 MAR 2014, 3:16PM

Combined Footing

File = d:\LOCALC-1\Shared\Sun\ALLJOB-1\2014AL-1\114085-1\Cals\pasofivo.ec6
ENERGALC, INC. 1983-2014, Build:6.14.1.23, Ver:6.14.1.23

Lic. #: KW-06006695

Licensee: ASHLEY & VANCE ENGINEERING INC.

Description: F 1

DESIGN SUMMARY

Design OK

Ratio	Item	Applied	Capacity	Governing Load Combination
PASS 0.8942	Soil Bearing	1.341 ksf	1.50 ksf	D Only
PASS 1.679	Overturning	58.80 k-ft	98.725 k-ft	D
PASS No Sliding	Sliding	0.0 k	5.385 k	No Sliding
PASS No Uplift	Uplift	0.0 k	0.0 k	No Uplift
PASS 0.1192	1-way Shear - Col #1	8.938 psi	75.0 psi	+1.40D
PASS 0.1226	1-way Shear - Col #2	9.197 psi	75.0 psi	+1.40D
PASS 0.005206	2-way Punching - Col #1	0.7809 psi	150.0 psi	+1.20D+1.60Lr+0.50L
PASS 0.02145	2-way Punching - Col #2	3.218 psi	150.0 psi	+1.40D
PASS 0.003027	Flexure - Left of Col #1 - Top	-0.9949 k-ft	328.683 k-ft	+1.40D
PASS No Bending	Flexure - Left of Col #1 - Bottom	0.0 k-ft	0.0 k-ft	N/A
PASS 0.06941	Flexure - Between Cols - Top	-22.813 k-ft	328.683 k-ft	+1.40D
PASS 0.09483	Flexure - Between Cols - Bottom	30.575 k-ft	322.405 k-ft	+1.40D
PASS No Bending	Flexure - Right of Col #2 - Top	0.0 k-ft	0.0 k-ft	N/A
PASS 0.007797	Flexure - Right of Col #2 - Bottom	2.514 k-ft	322.405 k-ft	+1.40D

Soil Bearing

Load Combination...	Total Bearing	Eccentricity from Ftg CL	Actual Soil Bearing Stress		Allowable	Actual / Allow Ratio
			@ Left Edge	@ Right Edge		
D Only	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+L+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+Lr+H	19.95 k	2.947 ft	0.00 ksf	1.30 ksf	1.50 ksf	0.866
+D+S+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+0.750Lr+0.750L+H	19.45 k	3.023 ft	0.00 ksf	1.31 ksf	1.50 ksf	0.870
+D+0.750L+0.750S+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+W+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+0.70E+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+0.750Lr+0.750L+0.750W+H	19.45 k	3.023 ft	0.00 ksf	1.31 ksf	1.50 ksf	0.870
+D+0.750L+0.750S+0.750W+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+D+0.750Lr+0.750L+0.5250E+H	19.45 k	3.023 ft	0.00 ksf	1.31 ksf	1.50 ksf	0.870
+D+0.750L+0.750S+0.5250E+H	17.95 k	3.276 ft	0.00 ksf	1.34 ksf	1.50 ksf	0.894
+0.60D+W+H	10.77 k	3.276 ft	0.00 ksf	0.80 ksf	1.50 ksf	0.537
+0.60D+0.70E+H	10.77 k	3.276 ft	0.00 ksf	0.80 ksf	1.50 ksf	0.537

Overturning Stability

Load Combination...	Overturning	Moments about Left Edge k-ft			Moments about Right Edge k-ft		
		Resisting	Ratio	Overturning	Resisting	Ratio	
D	0.00	0.00	999.000	58.80	98.73	1.679	
D+Lr	0.00	0.00	999.000	58.80	109.73	1.866	

Sliding Stability

Load Combination...	Sliding Force	Resisting Force	Sliding Safety Ratio
D	0.00 k	5.39 k	999
D+Lr	0.00 k	5.99 k	999

Footing Flexure - Maximum Values for Load Combination

Load Combination...	Mu	Distance from left	Tension Side	As Req'd	Governed by	Actual As	Phi*Mn	Mu / PhiMn
D+Lr	0.000	0.000	0	0.000	0	0.000	0.000	0.000
+1.40D	-0.001	0.037	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.005	0.073	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.012	0.110	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.022	0.147	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.034	0.183	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.049	0.220	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.067	0.257	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.087	0.293	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.111	0.330	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.136	0.367	Top	2.592	Min Temp %	2.790	328.683	0.000
+1.40D	-0.165	0.403	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.197	0.440	Top	2.592	Min Temp %	2.790	328.683	0.001

B-30

using the Settings menu item
and then using the "Printing &
Title Block" selection.

Title Block Line 6

Printed: 27 MAR 2014, 3:16PM

Combined Footing

File = d:\LOCALC-1\Shared\Sun\ALLJOB-1\2014AL-1\14085--1\Calcspasivo.ec6
ENERCALC, INC. 1983-2014, Build:6.14.1.23, Ver:6.14.1.23

Lic. # : KW-06006695

Licensee : ASHLEY & VANCE ENGINEERING INC.

Description : F 1

Footing Flexure - Maximum Values for Load Combination

Load Combination...	Mu	Distance from left	Tension Side	As Req'd	Governed by	Actual As	Phi*Mn	Mu / PhiMn
+1.40D	-0.231	0.477	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.268	0.513	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.307	0.550	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.349	0.587	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.394	0.623	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.442	0.660	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.493	0.697	Top	2.592	Min Temp %	2.790	328.683	0.001
+1.40D	-0.546	0.733	Top	2.592	Min Temp %	2.790	328.683	0.002
+1.40D	-0.602	0.770	Top	2.592	Min Temp %	2.790	328.683	0.002
+1.40D	-0.661	0.807	Top	2.592	Min Temp %	2.790	328.683	0.002
+1.40D	-0.722	0.843	Top	2.592	Min Temp %	2.790	328.683	0.002
+1.40D	-0.786	0.880	Top	2.592	Min Temp %	2.790	328.683	0.002
+1.40D	-0.853	0.917	Top	2.592	Min Temp %	2.790	328.683	0.003
+1.40D	-0.923	0.953	Top	2.592	Min Temp %	2.790	328.683	0.003
+1.40D	-0.995	0.990	Top	2.592	Min Temp %	2.790	328.683	0.003
+1.40D	-1.070	1.027	Top	2.592	Min Temp %	2.790	328.683	0.003
+1.40D	-1.149	1.063	Top	2.592	Min Temp %	2.790	328.683	0.003
+1.40D	-1.232	1.100	Top	2.592	Min Temp %	2.790	328.683	0.004
+1.40D	-1.318	1.137	Top	2.592	Min Temp %	2.790	328.683	0.004
+1.40D	-1.408	1.173	Top	2.592	Min Temp %	2.790	328.683	0.004
+1.40D	-1.502	1.210	Top	2.592	Min Temp %	2.790	328.683	0.005
+1.40D	-1.599	1.247	Top	2.592	Min Temp %	2.790	328.683	0.005
+1.40D	-1.700	1.283	Top	2.592	Min Temp %	2.790	328.683	0.005
+1.40D	-1.804	1.320	Top	2.592	Min Temp %	2.790	328.683	0.005
+1.40D	-1.913	1.357	Top	2.592	Min Temp %	2.790	328.683	0.006
+1.40D	-2.025	1.393	Top	2.592	Min Temp %	2.790	328.683	0.006
+1.40D	-2.140	1.430	Top	2.592	Min Temp %	2.790	328.683	0.007
+1.40D	-2.260	1.467	Top	2.592	Min Temp %	2.790	328.683	0.007
+1.40D	-2.383	1.503	Top	2.592	Min Temp %	2.790	328.683	0.007
+1.40D	-2.509	1.540	Top	2.592	Min Temp %	2.790	328.683	0.008
+1.40D	-2.640	1.577	Top	2.592	Min Temp %	2.790	328.683	0.008
+1.40D	-2.774	1.613	Top	2.592	Min Temp %	2.790	328.683	0.008
+1.40D	-2.911	1.650	Top	2.592	Min Temp %	2.790	328.683	0.009
+1.40D	-3.053	1.687	Top	2.592	Min Temp %	2.790	328.683	0.009
+1.40D	-3.198	1.723	Top	2.592	Min Temp %	2.790	328.683	0.010
+1.40D	-3.346	1.760	Top	2.592	Min Temp %	2.790	328.683	0.010
+1.40D	-3.499	1.797	Top	2.592	Min Temp %	2.790	328.683	0.011
+1.40D	-3.655	1.833	Top	2.592	Min Temp %	2.790	328.683	0.011
+1.40D	-3.814	1.870	Top	2.592	Min Temp %	2.790	328.683	0.012
+1.40D	-3.978	1.907	Top	2.592	Min Temp %	2.790	328.683	0.012
+1.40D	-4.145	1.943	Top	2.592	Min Temp %	2.790	328.683	0.013
+1.40D	-4.315	1.980	Top	2.592	Min Temp %	2.790	328.683	0.013
+1.40D	36.670	2.017	Bottom	2.592	Min Temp %	2.790	322.405	0.114
+1.40D	36.492	2.053	Bottom	2.592	Min Temp %	2.790	322.405	0.113
+1.40D	36.310	2.090	Bottom	2.592	Min Temp %	2.790	322.405	0.113
+1.40D	36.125	2.127	Bottom	2.592	Min Temp %	2.790	322.405	0.112
+1.40D	35.936	2.163	Bottom	2.592	Min Temp %	2.790	322.405	0.111
+1.40D	35.743	2.200	Bottom	2.592	Min Temp %	2.790	322.405	0.111
+1.40D	35.547	2.237	Bottom	2.592	Min Temp %	2.790	322.405	0.110
+1.40D	35.347	2.273	Bottom	2.592	Min Temp %	2.790	322.405	0.110
+1.40D	35.143	2.310	Bottom	2.592	Min Temp %	2.790	322.405	0.109
+1.40D	34.936	2.347	Bottom	2.592	Min Temp %	2.790	322.405	0.108
+1.40D	34.725	2.383	Bottom	2.592	Min Temp %	2.790	322.405	0.108
+1.40D	34.510	2.420	Bottom	2.592	Min Temp %	2.790	322.405	0.107
+1.40D	34.291	2.457	Bottom	2.592	Min Temp %	2.790	322.405	0.106
+1.40D	34.069	2.493	Bottom	2.592	Min Temp %	2.790	322.405	0.106
+1.40D	33.844	2.530	Bottom	2.592	Min Temp %	2.790	322.405	0.105
+1.40D	33.614	2.567	Bottom	2.592	Min Temp %	2.790	322.405	0.104
+1.40D	33.381	2.603	Bottom	2.592	Min Temp %	2.790	322.405	0.104
+1.40D	33.144	2.640	Bottom	2.592	Min Temp %	2.790	322.405	0.103
+1.40D	32.904	2.677	Bottom	2.592	Min Temp %	2.790	322.405	0.102
+1.40D	32.660	2.713	Bottom	2.592	Min Temp %	2.790	322.405	0.101
+1.40D	32.412	2.750	Bottom	2.592	Min Temp %	2.790	322.405	0.101
+1.40D	32.161	2.787	Bottom	2.592	Min Temp %	2.790	322.405	0.100

using the Settings menu item
and then using the "Printing &
Title Block" selection.
Title Block Line 6

Printed: 27 MAR 2014, 3:16PM

Combined Footing

File = d:\LOCALC-1\Shared\SunALLJOB-1\2014AL-1\14085--1\Cakspasivo.ec6
ENERCALC, INC. 1983-2014, Build: 6.14.1.23, Ver: 6.14.1.23

Lic. # : KW-06006895

Licensee : ASHLEY & VANCE ENGINEERING INC.

Description : F1

Footing Flexure - Maximum Values for Load Combination

Load Combination...	Mu	Distance from left	Tension Side	As Req'd	Governed by	Actual As	Phi*Mn	Mu / PhiMn
+1.40D	31.905	2.823	Bottom	2.592	Min Temp %	2.790	322.405	0.099
+1.40D	31.647	2.860	Bottom	2.592	Min Temp %	2.790	322.405	0.098
+1.40D	31.384	2.897	Bottom	2.592	Min Temp %	2.790	322.405	0.097
+1.40D	31.118	2.933	Bottom	2.592	Min Temp %	2.790	322.405	0.097
+1.40D	30.848	2.970	Bottom	2.592	Min Temp %	2.790	322.405	0.096
+1.40D	30.575	3.007	Bottom	2.592	Min Temp %	2.790	322.405	0.095
+1.40D	30.298	3.043	Bottom	2.592	Min Temp %	2.790	322.405	0.094
+1.40D	30.019	3.080	Bottom	2.592	Min Temp %	2.790	322.405	0.093
+1.40D	29.737	3.117	Bottom	2.592	Min Temp %	2.790	322.405	0.092
+1.40D	29.452	3.153	Bottom	2.592	Min Temp %	2.790	322.405	0.091
+1.40D	29.165	3.190	Bottom	2.592	Min Temp %	2.790	322.405	0.090
+1.40D	28.875	3.227	Bottom	2.592	Min Temp %	2.790	322.405	0.090
+1.40D	28.582	3.263	Bottom	2.592	Min Temp %	2.790	322.405	0.089
+1.40D	28.286	3.300	Bottom	2.592	Min Temp %	2.790	322.405	0.088
+1.40D	27.988	3.337	Bottom	2.592	Min Temp %	2.790	322.405	0.087
+1.40D	27.687	3.373	Bottom	2.592	Min Temp %	2.790	322.405	0.086
+1.40D	27.383	3.410	Bottom	2.592	Min Temp %	2.790	322.405	0.085
+1.40D	27.077	3.447	Bottom	2.592	Min Temp %	2.790	322.405	0.084
+1.40D	26.767	3.483	Bottom	2.592	Min Temp %	2.790	322.405	0.083
+1.40D	26.455	3.520	Bottom	2.592	Min Temp %	2.790	322.405	0.082
+1.40D	26.141	3.557	Bottom	2.592	Min Temp %	2.790	322.405	0.081
+1.40D	25.823	3.593	Bottom	2.592	Min Temp %	2.790	322.405	0.080
+1.40D	25.503	3.630	Bottom	2.592	Min Temp %	2.790	322.405	0.079
+1.40D	25.180	3.667	Bottom	2.592	Min Temp %	2.790	322.405	0.078
+1.40D	24.855	3.703	Bottom	2.592	Min Temp %	2.790	322.405	0.077
+1.40D	24.526	3.740	Bottom	2.592	Min Temp %	2.790	322.405	0.076
+1.40D	24.195	3.777	Bottom	2.592	Min Temp %	2.790	322.405	0.075
+1.40D	23.861	3.813	Bottom	2.592	Min Temp %	2.790	322.405	0.074
+1.40D	23.525	3.850	Bottom	2.592	Min Temp %	2.790	322.405	0.073
+1.40D	23.186	3.887	Bottom	2.592	Min Temp %	2.790	322.405	0.072
+1.40D	22.844	3.923	Bottom	2.592	Min Temp %	2.790	322.405	0.071
+1.40D	22.499	3.960	Bottom	2.592	Min Temp %	2.790	322.405	0.070
+1.40D	22.151	3.997	Bottom	2.592	Min Temp %	2.790	322.405	0.069
+1.40D	21.801	4.033	Bottom	2.592	Min Temp %	2.790	322.405	0.068
+1.40D	21.448	4.070	Bottom	2.592	Min Temp %	2.790	322.405	0.067
+1.40D	21.093	4.107	Bottom	2.592	Min Temp %	2.790	322.405	0.065
+1.40D	20.734	4.143	Bottom	2.592	Min Temp %	2.790	322.405	0.064
+1.40D	20.373	4.180	Bottom	2.592	Min Temp %	2.790	322.405	0.063
+1.40D	20.009	4.217	Bottom	2.592	Min Temp %	2.790	322.405	0.062
+1.40D	19.643	4.253	Bottom	2.592	Min Temp %	2.790	322.405	0.061
+1.40D	19.274	4.290	Bottom	2.592	Min Temp %	2.790	322.405	0.060
+1.40D	18.901	4.327	Bottom	2.592	Min Temp %	2.790	322.405	0.059
+1.40D	18.527	4.363	Bottom	2.592	Min Temp %	2.790	322.405	0.057
+1.40D	18.149	4.400	Bottom	2.592	Min Temp %	2.790	322.405	0.056
+1.40D	17.769	4.437	Bottom	2.592	Min Temp %	2.790	322.405	0.055
+1.40D	17.387	4.473	Bottom	2.592	Min Temp %	2.790	322.405	0.054
+1.40D	17.002	4.510	Bottom	2.592	Min Temp %	2.790	322.405	0.053
+1.40D	16.614	4.547	Bottom	2.592	Min Temp %	2.790	322.405	0.052
+1.40D	16.224	4.583	Bottom	2.592	Min Temp %	2.790	322.405	0.050
+1.40D	15.832	4.620	Bottom	2.592	Min Temp %	2.790	322.405	0.049
+1.40D	15.437	4.657	Bottom	2.592	Min Temp %	2.790	322.405	0.048
+1.40D	15.040	4.693	Bottom	2.592	Min Temp %	2.790	322.405	0.047
+1.40D	14.641	4.730	Bottom	2.592	Min Temp %	2.790	322.405	0.045
+1.40D	14.240	4.767	Bottom	2.592	Min Temp %	2.790	322.405	0.044
+1.40D	13.837	4.803	Bottom	2.592	Min Temp %	2.790	322.405	0.043
+1.40D	13.432	4.840	Bottom	2.592	Min Temp %	2.790	322.405	0.042
+1.40D	13.025	4.877	Bottom	2.592	Min Temp %	2.790	322.405	0.040
+1.40D	12.616	4.913	Bottom	2.592	Min Temp %	2.790	322.405	0.039
+1.40D	12.205	4.950	Bottom	2.592	Min Temp %	2.790	322.405	0.038
+1.40D	11.792	4.987	Bottom	2.592	Min Temp %	2.790	322.405	0.037
+1.40D	11.378	5.023	Bottom	2.592	Min Temp %	2.790	322.405	0.035
+1.40D	10.962	5.060	Bottom	2.592	Min Temp %	2.790	322.405	0.034
+1.40D	10.544	5.097	Bottom	2.592	Min Temp %	2.790	322.405	0.033
+1.40D	10.125	5.133	Bottom	2.592	Min Temp %	2.790	322.405	0.031

using the Settings menu item
and then using the "Printing &
Title Block" selection.

Title Block Line 6

Printed: 27 MAR 2014, 3:16PM

Combined Footing

File = d:\LOCALC~1\Shared\Sun\ALLJOB~1\2014AL~1\14085~1\Cakst\pasoiyo.ec6
ENERCALC, INC. 1983-2014, Build:6.14.1.23, Ver:6.14.1.23

Lic. # : KW-06006695

Licensee : **ASHLEY & VANCE ENGINEERING INC.**

Description : F 1

Footing Flexure - Maximum Values for Load Combination

Load Combination...	Mu	Distance from left	Tension Side	As Req'd	Governed by	Actual As	Phi*Mn	Mu / PhiMn
+1.40D	9.704	5.170	Bottom	2.592	Min Temp %	2.790	322.405	0.030
+1.40D	9.282	5.207	Bottom	2.592	Min Temp %	2.790	322.405	0.029
+1.40D	8.859	5.243	Bottom	2.592	Min Temp %	2.790	322.405	0.027
+1.40D	8.434	5.280	Bottom	2.592	Min Temp %	2.790	322.405	0.026
+1.40D	8.008	5.317	Bottom	2.592	Min Temp %	2.790	322.405	0.025
+1.40D	7.580	5.353	Bottom	2.592	Min Temp %	2.790	322.405	0.024
+1.40D	7.152	5.390	Bottom	2.592	Min Temp %	2.790	322.405	0.022
+1.40D	6.722	5.427	Bottom	2.592	Min Temp %	2.790	322.405	0.021
+1.40D	6.291	5.463	Bottom	2.592	Min Temp %	2.790	322.405	0.020
+1.40D	5.859	5.500	Bottom	2.592	Min Temp %	2.790	322.405	0.018
+1.40D	5.427	5.537	Bottom	2.592	Min Temp %	2.790	322.405	0.017
+1.40D	4.993	5.573	Bottom	2.592	Min Temp %	2.790	322.405	0.015
+1.40D	4.559	5.610	Bottom	2.592	Min Temp %	2.790	322.405	0.014
+1.40D	4.123	5.647	Bottom	2.592	Min Temp %	2.790	322.405	0.013
+1.40D	3.687	5.683	Bottom	2.592	Min Temp %	2.790	322.405	0.011
+1.40D	3.251	5.720	Bottom	2.592	Min Temp %	2.790	322.405	0.010
+1.40D	2.814	5.757	Bottom	2.592	Min Temp %	2.790	322.405	0.009
+1.40D	2.376	5.793	Bottom	2.592	Min Temp %	2.790	322.405	0.007
+1.20D+1.60Lr+0.50L	5.830	5.830	Top	2.592	Min Temp %	2.790	328.683	0.007
+1.20D+1.60Lr+0.50L	-2.589	5.867	Top	2.592	Min Temp %	2.790	328.683	0.008
+1.20D+1.60Lr+0.50L	-2.952	5.903	Top	2.592	Min Temp %	2.790	328.683	0.009
+1.20D+1.60Lr+0.50L	-3.315	5.940	Top	2.592	Min Temp %	2.790	328.683	0.010
+1.20D+1.60Lr+0.50L	-3.676	5.977	Top	2.592	Min Temp %	2.790	328.683	0.011
+1.20D+1.60Lr+0.50L	-4.037	6.013	Top	2.592	Min Temp %	2.790	328.683	0.012
+1.20D+1.60Lr+0.50L	-4.398	6.050	Top	2.592	Min Temp %	2.790	328.683	0.013
+1.20D+1.60Lr+0.50L	-4.757	6.087	Top	2.592	Min Temp %	2.790	328.683	0.014
+1.20D+1.60Lr+0.50L	-5.115	6.123	Top	2.592	Min Temp %	2.790	328.683	0.016
+1.20D+1.60Lr+0.50L	-5.473	6.160	Top	2.592	Min Temp %	2.790	328.683	0.017
+1.20D+1.60Lr+0.50L	-5.830	6.197	Top	2.592	Min Temp %	2.790	328.683	0.018
+1.20D+1.60Lr+0.50L	-6.186	6.233	Top	2.592	Min Temp %	2.790	328.683	0.019
+1.20D+1.60Lr+0.50L	-6.540	6.270	Top	2.592	Min Temp %	2.790	328.683	0.020
+1.20D+1.60Lr+0.50L	-6.894	6.307	Top	2.592	Min Temp %	2.790	328.683	0.021
+1.20D+1.60Lr+0.50L	-7.247	6.343	Top	2.592	Min Temp %	2.790	328.683	0.022
+1.20D+1.60Lr+0.50L	-7.598	6.380	Top	2.592	Min Temp %	2.790	328.683	0.023
+1.20D+1.60Lr+0.50L	-7.948	6.417	Top	2.592	Min Temp %	2.790	328.683	0.024
+1.20D+1.60Lr+0.50L	-8.297	6.453	Top	2.592	Min Temp %	2.790	328.683	0.025
+1.20D+1.60Lr+0.50L	-8.645	6.490	Top	2.592	Min Temp %	2.790	328.683	0.026
+1.20D+1.60Lr+0.50L	-8.992	6.527	Top	2.592	Min Temp %	2.790	328.683	0.027
+1.20D+1.60Lr+0.50L	-9.337	6.563	Top	2.592	Min Temp %	2.790	328.683	0.028
+1.20D+1.60Lr+0.50L	-9.681	6.600	Top	2.592	Min Temp %	2.790	328.683	0.029
+1.20D+1.60Lr+0.50L	-10.024	6.637	Top	2.592	Min Temp %	2.790	328.683	0.030
+1.20D+1.60Lr+0.50L	-10.365	6.673	Top	2.592	Min Temp %	2.790	328.683	0.032
+1.20D+1.60Lr+0.50L	-10.704	6.710	Top	2.592	Min Temp %	2.790	328.683	0.033
+1.20D+1.60Lr+0.50L	-11.042	6.747	Top	2.592	Min Temp %	2.790	328.683	0.034
+1.20D+1.60Lr+0.50L	-11.379	6.783	Top	2.592	Min Temp %	2.790	328.683	0.035
+1.20D+1.60Lr+0.50L	-11.714	6.820	Top	2.592	Min Temp %	2.790	328.683	0.036
+1.20D+1.60Lr+0.50L	-12.047	6.857	Top	2.592	Min Temp %	2.790	328.683	0.037
+1.20D+1.60Lr+0.50L	-12.379	6.893	Top	2.592	Min Temp %	2.790	328.683	0.038
+1.20D+1.60Lr+0.50L	-12.709	6.930	Top	2.592	Min Temp %	2.790	328.683	0.039
+1.20D+1.60Lr+0.50L	-13.037	6.967	Top	2.592	Min Temp %	2.790	328.683	0.040
+1.20D+1.60Lr+0.50L	-13.363	7.003	Top	2.592	Min Temp %	2.790	328.683	0.041
+1.20D+1.60Lr+0.50L	-13.688	7.040	Top	2.592	Min Temp %	2.790	328.683	0.042
+1.20D+1.60Lr+0.50L	-14.011	7.077	Top	2.592	Min Temp %	2.790	328.683	0.043
+1.20D+1.60Lr+0.50L	-14.332	7.113	Top	2.592	Min Temp %	2.790	328.683	0.044
+1.20D+1.60Lr+0.50L	-14.650	7.150	Top	2.592	Min Temp %	2.790	328.683	0.045
+1.20D+1.60Lr+0.50L	-14.967	7.187	Top	2.592	Min Temp %	2.790	328.683	0.046
+1.20D+1.60Lr+0.50L	-15.282	7.223	Top	2.592	Min Temp %	2.790	328.683	0.046
+1.20D+1.60Lr+0.50L	-15.595	7.260	Top	2.592	Min Temp %	2.790	328.683	0.047
+1.20D+1.60Lr+0.50L	-15.906	7.297	Top	2.592	Min Temp %	2.790	328.683	0.048
+1.20D+1.60Lr+0.50L	-16.215	7.333	Top	2.592	Min Temp %	2.790	328.683	0.049
+1.20D+1.60Lr+0.50L	-16.521	7.370	Top	2.592	Min Temp %	2.790	328.683	0.050
+1.20D+1.60Lr+0.50L	-16.825	7.407	Top	2.592	Min Temp %	2.790	328.683	0.051
+1.20D+1.60Lr+0.50L	-17.127	7.443	Top	2.592	Min Temp %	2.790	328.683	0.052
+1.20D+1.60Lr+0.50L	-17.427	7.480	Top	2.592	Min Temp %	2.790	328.683	0.053

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using the Settings menu item
and then using the "Printing &
Title Block" selection.

Printed: 27 MAR 2014, 3:16PM

Title Block Line 6

File = d:\LOCALC-1\Shared\SunVALLJOB-1\2014AL-1\14085-1\Cakstpasolivo.ec6
ENERCALC, INC. 1983-2014, Build:6.14.1.23, Ver:6.14.1.23

Combined Footing

Licensee : **ASHLEY & VANCE ENGINEERING INC.**

Lic. # : KW-06006695

Description : F 1

Footing Flexure - Maximum Values for Load Combination

Load Combination...	Mu	Distance from left	Tension Side	As Req'd	Governed by	Actual As	Phi*Mn	Mu / PhiMn
+1.40D	-17.808	7.517	Top	2.592	Min Temp %	2.790	328.683	0.054
+1.40D	-18.207	7.553	Top	2.592	Min Temp %	2.790	328.683	0.055
+1.40D	-18.604	7.590	Top	2.592	Min Temp %	2.790	328.683	0.057
+1.40D	-18.999	7.627	Top	2.592	Min Temp %	2.790	328.683	0.058
+1.40D	-19.392	7.663	Top	2.592	Min Temp %	2.790	328.683	0.059
+1.40D	-19.782	7.700	Top	2.592	Min Temp %	2.790	328.683	0.060
+1.40D	-20.170	7.737	Top	2.592	Min Temp %	2.790	328.683	0.061
+1.40D	-20.555	7.773	Top	2.592	Min Temp %	2.790	328.683	0.063
+1.40D	-20.938	7.810	Top	2.592	Min Temp %	2.790	328.683	0.064
+1.40D	-21.318	7.847	Top	2.592	Min Temp %	2.790	328.683	0.065
+1.40D	-21.696	7.883	Top	2.592	Min Temp %	2.790	328.683	0.066
+1.40D	-22.071	7.920	Top	2.592	Min Temp %	2.790	328.683	0.067
+1.40D	-22.443	7.957	Top	2.592	Min Temp %	2.790	328.683	0.068
+1.40D	-22.813	7.993	Top	2.592	Min Temp %	2.790	328.683	0.069
+1.40D	-23.180	8.030	Top	2.592	Min Temp %	2.790	328.683	0.071
+1.40D	-23.545	8.067	Top	2.592	Min Temp %	2.790	328.683	0.072
+1.40D	-23.908	8.103	Top	2.592	Min Temp %	2.790	328.683	0.073
+1.40D	-24.269	8.140	Top	2.592	Min Temp %	2.790	328.683	0.074
+1.40D	-24.628	8.177	Top	2.592	Min Temp %	2.790	328.683	0.075
+1.40D	-24.985	8.213	Top	2.592	Min Temp %	2.790	328.683	0.076
+1.40D	-25.339	8.250	Top	2.592	Min Temp %	2.790	328.683	0.077
+1.40D	-25.692	8.287	Top	2.592	Min Temp %	2.790	328.683	0.078
+1.40D	-26.042	8.323	Top	2.592	Min Temp %	2.790	328.683	0.079
+1.40D	-26.389	8.360	Top	2.592	Min Temp %	2.790	328.683	0.080
+1.40D	-26.734	8.397	Top	2.592	Min Temp %	2.790	328.683	0.081
+1.40D	-27.077	8.433	Top	2.592	Min Temp %	2.790	328.683	0.082
+1.40D	-27.417	8.470	Top	2.592	Min Temp %	2.790	328.683	0.083
+1.40D	-27.754	8.507	Top	2.592	Min Temp %	2.790	328.683	0.084
+1.40D	-28.089	8.543	Top	2.592	Min Temp %	2.790	328.683	0.085
+1.40D	-28.421	8.580	Top	2.592	Min Temp %	2.790	328.683	0.086
+1.40D	-28.750	8.617	Top	2.592	Min Temp %	2.790	328.683	0.087
+1.40D	-29.076	8.653	Top	2.592	Min Temp %	2.790	328.683	0.088
+1.40D	-29.400	8.690	Top	2.592	Min Temp %	2.790	328.683	0.089
+1.40D	-29.720	8.727	Top	2.592	Min Temp %	2.790	328.683	0.090
+1.40D	-30.038	8.763	Top	2.592	Min Temp %	2.790	328.683	0.091
+1.40D	-30.352	8.800	Top	2.592	Min Temp %	2.790	328.683	0.092
+1.40D	-30.663	8.837	Top	2.592	Min Temp %	2.790	328.683	0.093
+1.40D	-30.972	8.873	Top	2.592	Min Temp %	2.790	328.683	0.094
+1.40D	-31.276	8.910	Top	2.592	Min Temp %	2.790	328.683	0.095
+1.40D	-31.578	8.947	Top	2.592	Min Temp %	2.790	328.683	0.096
+1.40D	-31.876	8.983	Top	2.592	Min Temp %	2.790	328.683	0.097
+1.40D	8.989	9.020	Bottom	2.592	Min Temp %	2.790	322.405	0.028
+1.40D	8.697	9.057	Bottom	2.592	Min Temp %	2.790	322.405	0.027
+1.40D	8.409	9.093	Bottom	2.592	Min Temp %	2.790	322.405	0.026
+1.40D	8.125	9.130	Bottom	2.592	Min Temp %	2.790	322.405	0.025
+1.40D	7.844	9.167	Bottom	2.592	Min Temp %	2.790	322.405	0.024
+1.40D	7.567	9.203	Bottom	2.592	Min Temp %	2.790	322.405	0.023
+1.40D	7.294	9.240	Bottom	2.592	Min Temp %	2.790	322.405	0.023
+1.40D	7.024	9.277	Bottom	2.592	Min Temp %	2.790	322.405	0.022
+1.40D	6.759	9.313	Bottom	2.592	Min Temp %	2.790	322.405	0.021
+1.40D	6.497	9.350	Bottom	2.592	Min Temp %	2.790	322.405	0.020
+1.40D	6.239	9.387	Bottom	2.592	Min Temp %	2.790	322.405	0.019
+1.40D	5.985	9.423	Bottom	2.592	Min Temp %	2.790	322.405	0.019
+1.40D	5.735	9.460	Bottom	2.592	Min Temp %	2.790	322.405	0.018
+1.40D	5.490	9.497	Bottom	2.592	Min Temp %	2.790	322.405	0.017
+1.40D	5.248	9.533	Bottom	2.592	Min Temp %	2.790	322.405	0.016
+1.40D	5.011	9.570	Bottom	2.592	Min Temp %	2.790	322.405	0.016
+1.40D	4.778	9.607	Bottom	2.592	Min Temp %	2.790	322.405	0.015
+1.40D	4.549	9.643	Bottom	2.592	Min Temp %	2.790	322.405	0.014
+1.40D	4.325	9.680	Bottom	2.592	Min Temp %	2.790	322.405	0.013
+1.40D	4.105	9.717	Bottom	2.592	Min Temp %	2.790	322.405	0.013
+1.40D	3.890	9.753	Bottom	2.592	Min Temp %	2.790	322.405	0.012
+1.40D	3.679	9.790	Bottom	2.592	Min Temp %	2.790	322.405	0.011
+1.40D	3.473	9.827	Bottom	2.592	Min Temp %	2.790	322.405	0.011

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using the Settings menu item
and then using the "Printing &
Title Block" selection.

Title Block Line 6

Printed: 27 MAR 2014, 3:16PM

Combined Footing

File = d:\LOCALC~1\Shared\Sun\ALLJOB-1\2014AL-1\14085-1\Calcspasofivo.ec6
ENERCALC, INC. 1983-2014, Build:6.14.1.23, Ver:6.14.1.23

Lic. # : KW-06006695

Licensee : ASHLEY & VANCE ENGINEERING INC.

Description : F1

Footing Flexure - Maximum Values for Load Combination

Load Combination...	Mu	Distance from left	Tension Side	As Req'd	Governed by	Actual As	Phi*Mn	Mu / PhiMn
+1.40D	3.272	9.863	Bottom	2.592	Min Temp %	2.790	322.405	0.010
+1.40D	3.075	9.900	Bottom	2.592	Min Temp %	2.790	322.405	0.010
+1.40D	2.883	9.937	Bottom	2.592	Min Temp %	2.790	322.405	0.009
+1.40D	2.696	9.973	Bottom	2.592	Min Temp %	2.790	322.405	0.008
+1.40D	2.514	10.010	Bottom	2.592	Min Temp %	2.790	322.405	0.008
+1.40D	2.337	10.047	Bottom	2.592	Min Temp %	2.790	322.405	0.007
+1.40D	2.167	10.083	Bottom	2.592	Min Temp %	2.790	322.405	0.007
+1.40D	2.002	10.120	Bottom	2.592	Min Temp %	2.790	322.405	0.006
+1.40D	1.844	10.157	Bottom	2.592	Min Temp %	2.790	322.405	0.006
+1.40D	1.691	10.193	Bottom	2.592	Min Temp %	2.790	322.405	0.005
+1.40D	1.545	10.230	Bottom	2.592	Min Temp %	2.790	322.405	0.005
+1.40D	1.405	10.267	Bottom	2.592	Min Temp %	2.790	322.405	0.004
+1.40D	1.272	10.303	Bottom	2.592	Min Temp %	2.790	322.405	0.004
+1.40D	1.144	10.340	Bottom	2.592	Min Temp %	2.790	322.405	0.004
+1.40D	1.023	10.377	Bottom	2.592	Min Temp %	2.790	322.405	0.003
+1.40D	0.909	10.413	Bottom	2.592	Min Temp %	2.790	322.405	0.003
+1.40D	0.801	10.450	Bottom	2.592	Min Temp %	2.790	322.405	0.002
+1.40D	0.699	10.487	Bottom	2.592	Min Temp %	2.790	322.405	0.002
+1.40D	0.605	10.523	Bottom	2.592	Min Temp %	2.790	322.405	0.002
+1.40D	0.517	10.560	Bottom	2.592	Min Temp %	2.790	322.405	0.002
+1.40D	0.435	10.597	Bottom	2.592	Min Temp %	2.790	322.405	0.001
+1.40D	0.361	10.633	Bottom	2.592	Min Temp %	2.790	322.405	0.001
+1.40D	0.293	10.670	Bottom	2.592	Min Temp %	2.790	322.405	0.001
+1.40D	0.232	10.707	Bottom	2.592	Min Temp %	2.790	322.405	0.001
+1.40D	0.178	10.743	Bottom	2.592	Min Temp %	2.790	322.405	0.001
+1.40D	0.131	10.780	Bottom	2.592	Min Temp %	2.790	322.405	0.000
+1.40D	0.091	10.817	Bottom	2.592	Min Temp %	2.790	322.405	0.000
+1.40D	0.059	10.853	Bottom	2.592	Min Temp %	2.790	322.405	0.000
+1.40D	0.033	10.890	Bottom	2.592	Min Temp %	2.790	322.405	0.000
+1.40D	0.015	10.927	Bottom	2.592	Min Temp %	2.790	322.405	0.000
+1.40D	0.004	10.963	Bottom	2.592	Min Temp %	2.790	322.405	0.000
+1.40D	0.000	11.000	Bottom	2.592	Min Temp %	2.790	322.405	0.000

One Way Shear

Punching Shear

Load Combination...	Phi Vn	vu @ Col #1	vu @ Col #2	Phi Vn	vu @ Col #1	vu @ Col #2
+1.40D	75.00 psi	8.94 psi	9.20 psi	150.00 psi	0.67psi	3.22 psi
+1.20D+0.50Lr+1.60L+1.60H	75.00 psi	7.73 psi	7.83 psi	150.00 psi	0.66psi	2.70 psi
+1.20D+1.60L+0.50S+1.60H	75.00 psi	7.66 psi	7.88 psi	150.00 psi	0.57psi	2.76 psi
+1.20D+1.60Lr+0.50L	75.00 psi	7.76 psi	7.67 psi	150.00 psi	0.78psi	2.58 psi
+1.20D+1.60Lr+0.80W	75.00 psi	7.76 psi	7.67 psi	150.00 psi	0.78psi	2.58 psi
+1.20D+0.50L+1.60S	75.00 psi	7.66 psi	7.88 psi	150.00 psi	0.57psi	2.76 psi
+1.20D+1.60S+0.80W	75.00 psi	7.66 psi	7.88 psi	150.00 psi	0.57psi	2.76 psi
+1.20D+0.50Lr+0.50L+1.60W	75.00 psi	7.73 psi	7.83 psi	150.00 psi	0.66psi	2.70 psi
+1.20D+0.50L+0.50S+1.60W	75.00 psi	7.66 psi	7.88 psi	150.00 psi	0.57psi	2.76 psi
+1.20D+0.50L+0.20S+E	75.00 psi	7.66 psi	7.88 psi	150.00 psi	0.57psi	2.76 psi
+0.90D+1.60W+1.60H	75.00 psi	5.75 psi	5.91 psi	150.00 psi	0.43psi	2.07 psi
+0.90D+E+1.60H	75.00 psi	5.75 psi	5.91 psi	150.00 psi	0.43psi	2.07 psi

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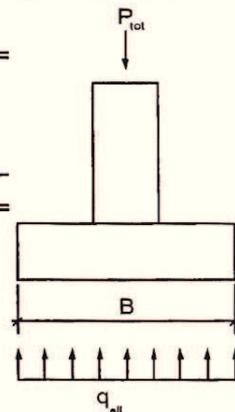


P 1

Job: 14085 - Pasolivo Residence - Caron

Pad Footing Calculation

Reactions on Footing	D	L	E	W	
Pt Load from: FB 2	1.8	2.5	--	--	kips
FB 3	0.4	0.5	--	--	kips
SUM:					2.2 3.0 0.0 0.0 kips
Required Strength (ACI 318-05 §9.2.1):				P =	5.17 kips
U = 1.2D + 1.6L				U =	7.40 kips
U = 1.2D + 1.6L + 0.8W					
U = 1.2D + 1.6W + 1.0L					
U = 1.2D + 1.0E + 1.0L					



Pad Footing Design Parameters:

Allowable Bearing Pressure → 1500 psf From CBC Table 1804.2
 Seismic or Wind Loading? → Y → 1995 psf Calculated Bearing Pressure

Footing Width Design:

Try Square Footing Width, B = 24 inches
 $q_{bear} = 1293$ psf
 $q_{allow} = 1814$ psf
 $q_{allow}/q_{bear} = 1.40$

Reinforcement Design:

$M_u = 12.50$ kips-in
 $q_u = 12.86$ psi
 $A_s Req'd = 0.03857$ in²

Reinforcement Req'd (2) #5 Bars Spaced Evenly (18" o.c)

B-36



P 2

Job: 14085 - Pasolivo Residence - Caron

Pad Footing Calculation

Reactions on Footing	D	L	E	W	
Pt Load from: FB 1	1.6	2.1	--	--	kips
FB 6	1.1	1.5	--	--	kips
<hr/>					
SUM:	2.6	3.6	0.0	0.0	kips

Required Strength (ACI 318-05 §9.2.1):

$U = 1.2D + 1.6L$

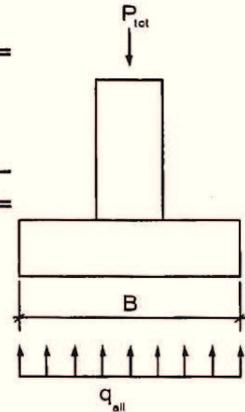
$U = 1.2D + 1.6L + 0.8W$

$U = 1.2D + 1.6W + 1.0L$

$U = 1.2D + 1.0E + 1.0L$

$P = 6.27$ kips

$U = 8.97$ kips



Pad Footing Design Parameters:

Allowable Bearing Pressure \rightarrow 1500 psf From CBC Table 1804.2

Seismic or Wind Loading? \rightarrow Y \rightarrow 1995 psf Calculated Bearing Pressure

Footing Width Design:

Try Square Footing Width, B = 24 inches
 $q_{bear} = 1567$ psf
 $q_{allow} = 1814$ psf
 $q_{allow}/q_{bear} = 1.16$

Reinforcement Design:

$M_u = 15.14$ kips - in
 $q_u = 15.57$ psi
 $A_{s \text{ Req'd}} = 0.04672$ in²

Reinforcement Req'd (2) #5 Bars Spaced Evenly (18" o.c.)

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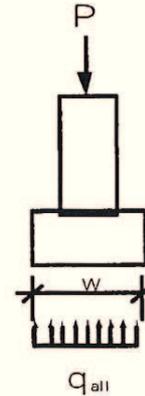


P 3

Job: **14085 - Pasolivo Residence - Caron**

Point Load on Footing Calculation

Reactions on Footing		D	L	E	W	
Pt Load from	FB 4	1.3	1.7	--	--	kips
	FB 5	0.8	1.0	--	--	kips
Total		2.0	2.8	0.0	0.0	kips
U = 6.8352 kips						



Required Strength (ACI 318-05 § 9.2.1):

$U = 1.2D + 1.6L$
 $U = 1.2D + 1.6L + 0.8W$
 $U = 1.2D + 1.6W + 1.0L$
 $U = 1.2D + 1.0E + 1.0L$

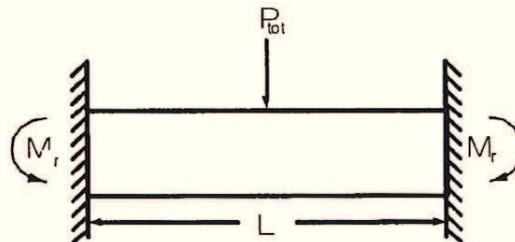
Conventional Footing Design Parameters:

Allowable Bearing Pressure	1500 psf	From CBC Table 1804.2	<input type="checkbox"/>
Seismic or Wind Loading?	N --->	1500 psf	Calculated Bearing Pressure

Footing Width 12 inches
 $A_{req} = 4.6 \text{ ft}^2$
 $L_{req} = 4.6 \text{ ft}$

Model Foundation as Fixed/Fixed Member

Eqn. 1: $M_u = PL/8$
 $M_u = 3.9 \text{ k-ft}$



Steel Reinforcing Design:

Steel Depth 15 in
 Bar size (#) 4 bar
 # of bars 1

$\phi M_n =$	13.0 kip-ft	(Design Cap.)
$M_u =$	3.9 kip-ft	(From Eqn. 1)
$\phi M_n / M_u =$	3.4	OK

Therefore use 12 inch x 18 inch footing, with (1) #4 bar top and bottom. See Details.

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1. Project information

Customer company:
 Customer contact name:
 Customer e-mail:
 Comment:

Project description:
 Location: Anch 1
 Fastening description:

2. Input Data & Anchor Parameters

General

Design method: ACI 318-08
 Units: Imperial units

Anchor Information:

Anchor type: Cast-in-place
 Material: AB
 Diameter (inch): 0.875
 Effective Embedment depth, h_{ef} (inch): 6.000
 Anchor category: -
 Anchor ductility: Yes
 h_{min} (inch): 8.25
 c_{min} (inch): 5.25
 s_{min} (inch): 5.25

Base Material

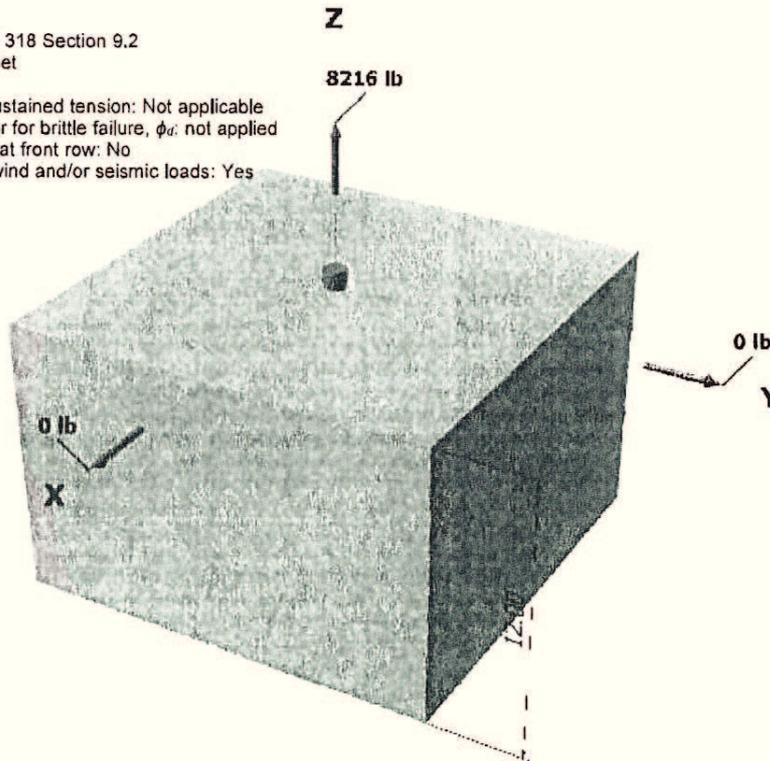
Concrete: Normal-weight
 Concrete thickness, h (inch): 12.00
 State: Cracked
 Compressive strength, f_c (psi): 2500
 $\Psi_{e,v}$: 1.0
 Reinforcement condition: B tension, B shear
 Supplemental reinforcement: Not applicable
 Do not evaluate concrete breakout in tension: No
 Do not evaluate concrete breakout in shear: No
 Ignore 6do requirement: No
 Build-up grout pad: No

Base Plate

Load and Geometry

Load factor source: ACI 318 Section 9.2
 Load combination: not set
 Seismic design: Yes
 Anchors subjected to sustained tension: Not applicable
 Strength reduction factor for brittle failure, ϕ_a : not applied
 Apply entire shear load at front row: No
 Anchors only resisting wind and/or seismic loads: Yes

<Figure 1>

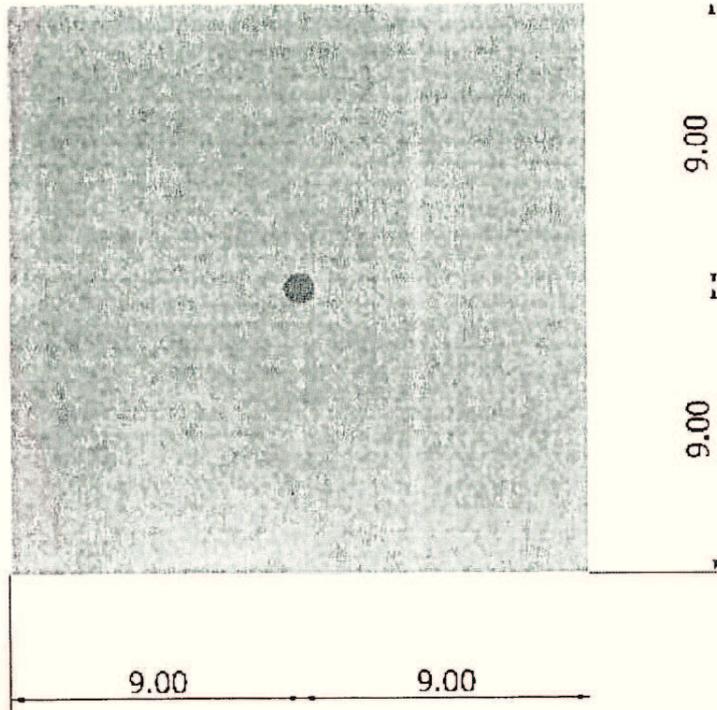


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<Figure 2>



Recommended Anchor
Anchor Name: PAB Pre-Assembled Anchor Bolt - PAB7 (7/8"Ø)



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3. Resulting Anchor Forces

Anchor	Tension load, N _{ua} (lb)	Shear load x, V _{uax} (lb)	Shear load y, V _{uay} (lb)	Shear load combined, $\sqrt{(V_{uax})^2 + (V_{uay})^2}$ (lb)
1	8216.0	0.0	0.0	0.0
Sum	8216.0	0.0	0.0	0.0

Maximum concrete compression strain (‰): 0.00
 Maximum concrete compression stress (psi): 0
 Resultant tension force (lb): 8216
 Resultant compression force (lb): 0
 Eccentricity of resultant tension forces in x-axis, e'_{Nx} (inch): 0.00
 Eccentricity of resultant tension forces in y-axis, e'_{Ny} (inch): 0.00

4. Steel Strength of Anchor in Tension (Sec. D.5.1)

N _{sa} (lb)	φ	φN _{sa} (lb)
26795	0.75	20096

5. Concrete Breakout Strength of Anchor in Tension (Sec. D.5.2)

$N_b = k_c \lambda \sqrt{f_c} h_{ef}^{1.5}$ (Eq. D-7)

k _c	λ	f _c (psi)	h _{ef} (in)	N _b (lb)
24.0	1.00	2500	6.000	17636

$0.75 \phi_c \phi N_{cb} = 0.75 \phi_c \phi (A_{Nc} / A_{Nco}) \psi_{ed,N} \psi_{c,N} \psi_{cp,N} N_b$ (Sec. D.3.3.3, D.4.1 & Eq. D-4)

A _{Nc} (in ²)	A _{Nco} (in ²)	ψ _{ed,N}	ψ _{c,N}	ψ _{cp,N}	N _b (lb)	φ	0.75 φ _c φ N _{cb} (lb)
324.00	324.00	1.000	1.00	1.000	17636	0.70	9259

6. Pullout Strength of Anchor in Tension (Sec. D.5.3)

$0.75 \phi_c \phi N_{pn} = 0.75 \phi_c \phi \psi_{c,p} N_p = 0.75 \phi_c \phi \psi_{c,p} 8 A_{brg} f_c$ (Sec. D.3.3.3, D.4.1, Eq. D-14 & D-15)

ψ _{c,p}	A _{brg} (in ²)	f _c (psi)	φ	0.75 φ _c φ N _{pn} (lb)
1.0	4.46	2500	0.70	46843

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11. Interaction of Tensile and Shear Forces (Sec. D.7)

Tension	Factored Load, N_{ua} (lb)	Design Strength, ϕN_n (lb)	Ratio	Status
Steel	8216	20096	0.41	Pass
Concrete breakout	8216	9259	0.89	Pass (Governs)
Pullout	8216	46843	0.18	Pass

PAB7 (7/8"Ø) meets the selected design criteria.

12. Warnings

- Brittle failure governs. Governing anchor failure mode is brittle failure.
 Per ACI 318-08 Section D.3.3.4, anchors shall be designed to be governed by the steel strength of a ductile steel element in structures assigned to Seismic Design Category C, D, E, or F.
 Alternatively it is permitted to take the design strength of the anchors as 0.4 times (or 0.5 times for the anchors of stud bearing walls) determined in accordance with Section D.3.3.3, or the attachment the anchor is connecting to the structure shall be designed so that the attachment will undergo ductile yielding at a force level corresponding to anchor forces no greater than the design strength of anchors specified in Section D.3.3.3. To include the strength reduction factor in the calculation, select a reduction factor from the Inputs tab and re-calculate.

- Designer must exercise own judgement to determine if this design is suitable.



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1. Project information

Customer company:
 Customer contact name:
 Customer e-mail:
 Comment:

Project description:
 Location: Anch 2
 Fastening description: SWSB

2. Input Data & Anchor Parameters

General

Design method: ACI 318-08
 Units: Imperial units

Anchor Information:

Anchor type: Cast-in-place
 Material: AB
 Diameter (inch): 1.000
 Effective Embedment depth, h_{ef} (inch): 24.000
 Anchor category: -
 Anchor ductility: Yes
 h_{min} (inch): 26.38
 C_{min} (inch): 6.00
 S_{min} (inch): 6.00

Base Material

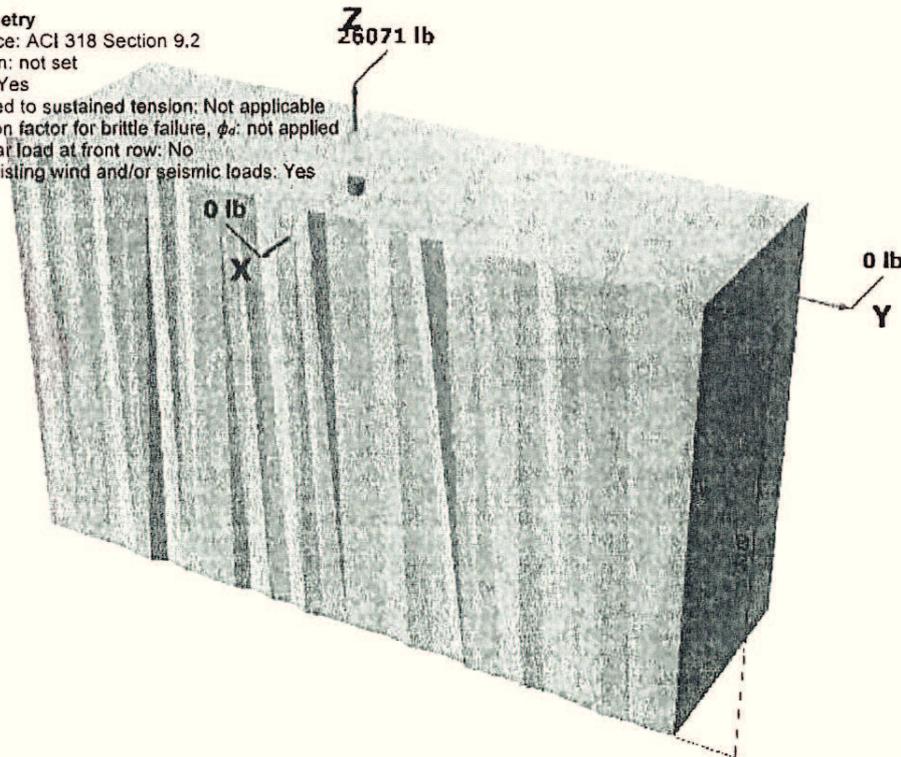
Concrete: Normal-weight
 Concrete thickness, h (inch): 30.00
 State: Cracked
 Compressive strength, f_c (psi): 2500
 $\Psi_{c,v}$: 1.0
 Reinforcement condition: B tension, B shear
 Supplemental reinforcement: Not applicable
 Do not evaluate concrete breakout in tension: No
 Do not evaluate concrete breakout in shear: No
 Ignore 6do requirement: No
 Build-up grout pad: No

Base Plate

Load and Geometry

Load factor source: ACI 318 Section 9.2
 Load combination: not set
 Seismic design: Yes
 Anchors subjected to sustained tension: Not applicable
 Strength reduction factor for brittle failure, ϕ : not applied
 Apply entire shear load at front row: No
 Anchors only resisting wind and/or seismic loads: Yes

<Figure 1>

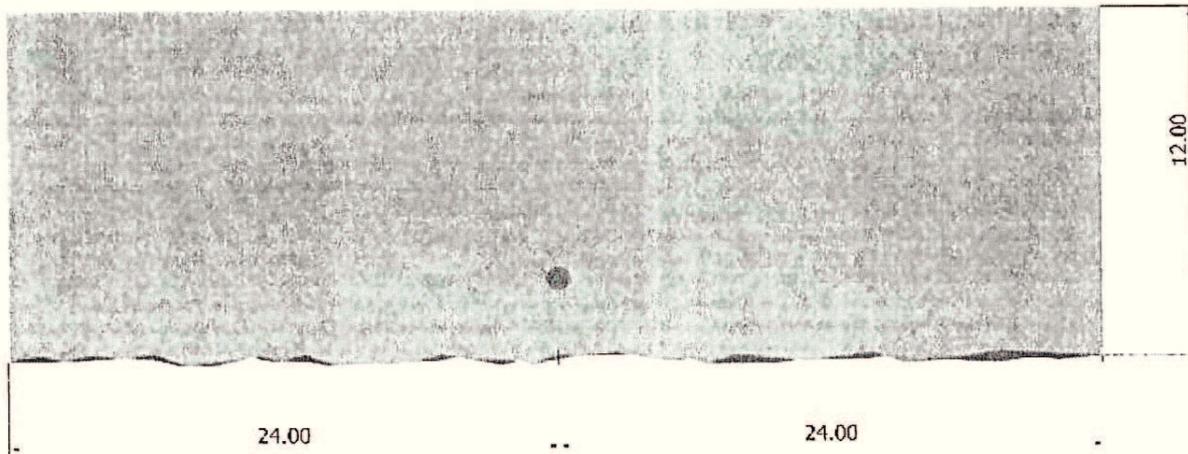


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<Figure 2>



Recommended Anchor
Anchor Name: PAB Pre-Assembled Anchor Bolt - PAB8 (1"Ø)



Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
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3. Resulting Anchor Forces

Anchor	Tension load, N _{ua} (lb)	Shear load x, V _{uax} (lb)	Shear load y, V _{uay} (lb)	Shear load combined, $\sqrt{(V_{uax})^2 + (V_{uay})^2}$ (lb)
1	26071.0	0.0	0.0	0.0
Sum	26071.0	0.0	0.0	0.0

Maximum concrete compression strain (‰): 0.00
 Maximum concrete compression stress (psi): 0
 Resultant tension force (lb): 26071
 Resultant compression force (lb): 0
 Eccentricity of resultant tension forces in x-axis, e'_{Nx} (inch): 0.00
 Eccentricity of resultant tension forces in y-axis, e'_{Ny} (inch): 0.00

4. Steel Strength of Anchor in Tension (Sec. D.5.1)

N _{sa} (lb)	φ	φN _{sa} (lb)
35150	0.75	26363

5. Concrete Breakout Strength of Anchor in Tension (Sec. D.5.2)

$N_b = 16\lambda\sqrt{f_c}h_{ef}^{1.5}$ (Eq. D-8)

λ	f _c (psi)	h _{ef} (in)	N _b (lb)
1.00	2500	16.000	81275

$0.75\phi\phi N_{cb} = 0.75\phi\phi (A_{Nc} / A_{Nco}) \psi_{ed,N} \psi_{c,N} \psi_{cp,N} N_b$ (Sec. D.3.3.3, D.4.1 & Eq. D-4)

A _{Nc} (in ²)	A _{Nco} (in ²)	ψ _{ed,N}	ψ _{c,N}	ψ _{cp,N}	N _b (lb)	φ	0.75φ _u φN _{cb} (lb)
1785.00	2304.00	0.850	1.00	1.000	81275	0.70	28099

6. Pullout Strength of Anchor in Tension (Sec. D.5.3)

$0.75\phi\phi N_{pn} = 0.75\phi\phi \psi_{c,p} N_p = 0.75\phi\phi \psi_{c,p} 8A_{brg} f_c$ (Sec. D.3.3.3, D.4.1, Eq. D-14 & D-15)

ψ _{c,p}	A _{brg} (in ²)	f _c (psi)	φ	0.75φ _u φN _{pn} (lb)
1.0	5.46	2500	0.70	57378

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11. Interaction of Tensile and Shear Forces (Sec. D.7)

Tension	Factored Load, N_{ua} (lb)	Design Strength, ϕN_n (lb)	Ratio	Status
Steel	26071	26363	0.99	Pass (Governs)
Concrete breakout	26071	28099	0.93	Pass
Pullout	26071	57378	0.45	Pass

PAB8 (1"Ø) meets the selected design criteria.

12. Warnings

- Designer must exercise own judgement to determine if this design is suitable.

Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
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1. Project information

Customer company:
 Customer contact name:
 Customer e-mail:
 Comment:

Project description:
 Location: Anch 3
 Fastening description: SWSB

2. Input Data & Anchor Parameters

General

Design method: ACI 318-08
 Units: Imperial units

Anchor Information:

Anchor type: Bonded anchor
 Material: F1554 Grade 36
 Diameter (inch): 0.625
 Effective Embedment depth, h_{ef} (inch): 12.000
 Code report: ICC-ES ESR-2508
 Anchor category: -
 Anchor ductility: Yes
 h_{min} (inch): 15.13
 C_{ac} (inch): 31.04
 C_{min} (inch): 1.75
 S_{min} (inch): 3.00

Base Material

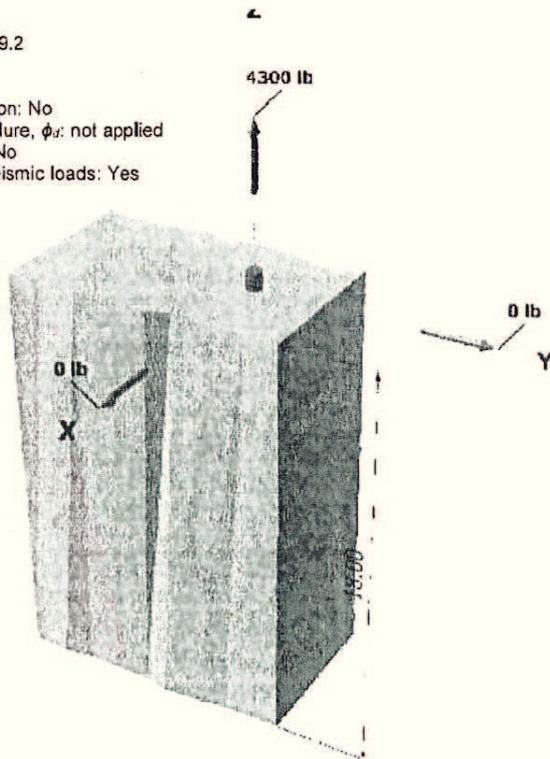
Concrete: Normal-weight
 Concrete thickness, h (inch): 18.00
 State: Cracked
 Compressive strength, f_c (psi): 2500
 $\Psi_{e,v}$: 1.0
 Reinforcement condition: B tension, B shear
 Supplemental reinforcement: Not applicable
 Do not evaluate concrete breakout in tension: No
 Do not evaluate concrete breakout in shear: No
 Hole condition: Dry concrete
 Inspection: Continuous
 Temperature range: 1
 Ignore 6do requirement: Not applicable
 Build-up grout pad: No

Base Plate

Load and Geometry

Load factor source: ACI 318 Section 9.2
 Load combination: not set
 Seismic design: Yes
 Anchors subjected to sustained tension: No
 Strength reduction factor for brittle failure, ϕ_{st} : not applied
 Apply entire shear load at front row: No
 Anchors only resisting wind and/or seismic loads: Yes

<Figure 1>

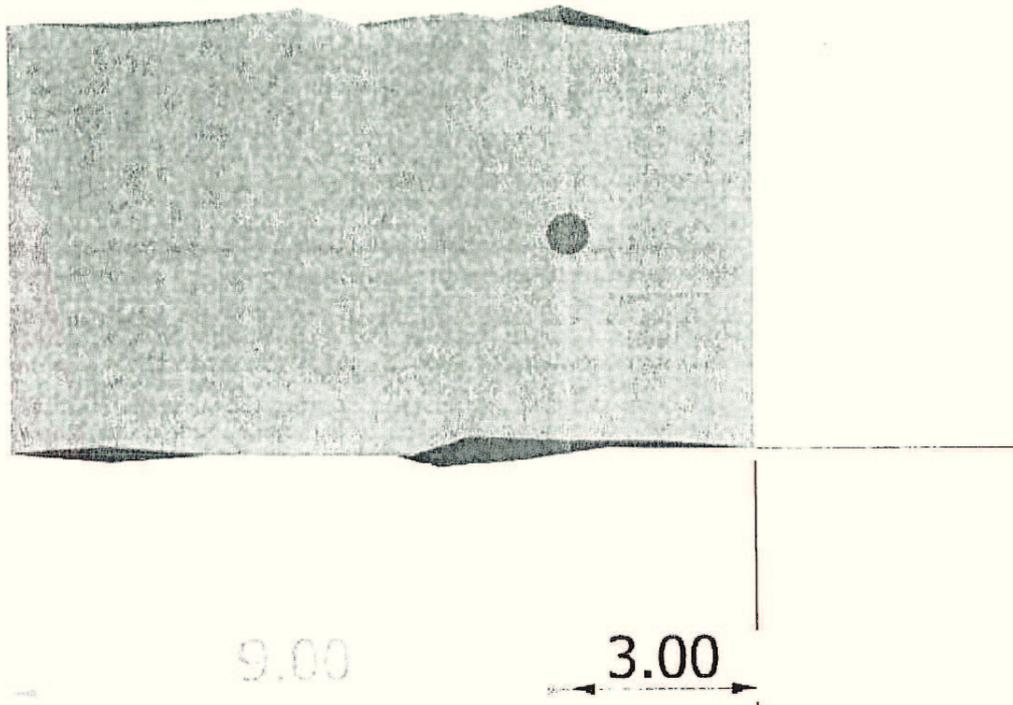


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<Figure 2>



Recommended Anchor
 Anchor Name: SET-XP® - SET-XP w/ 5/8"Ø F1554 Gr. 36
 Approval No: ICC-ES ESR-2508



Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
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3. Resulting Anchor Forces

Anchor	Tension load, N _{ua} (lb)	Shear load x, V _{ubx} (lb)	Shear load y, V _{uay} (lb)	Shear load combined, √(V _{ubx}) ² + (V _{uay}) ² (lb)
1	4300.0	0.0	0.0	0.0
Sum	4300.0	0.0	0.0	0.0

Maximum concrete compression strain (‰): 0.00
 Maximum concrete compression stress (psi): 0
 Resultant tension force (lb): 4300
 Resultant compression force (lb): 0
 Eccentricity of resultant tension forces in x-axis, e'_{tx} (inch): 0.00
 Eccentricity of resultant tension forces in y-axis, e'_{ty} (inch): 0.00

4. Steel Strength of Anchor in Tension (Sec. D.5.1)

N _{sa} (lb)	φ	φN _{sa} (lb)
13110	0.75	9833

5. Concrete Breakout Strength of Anchor in Tension (Sec. D.5.2)

$N_b = k_c \lambda \sqrt{f_c} h_{ef}^{1.5}$ (Eq. D-7)

k _c	λ	f _c (psi)	h _{ef} (in)	N _b (lb)
17.0	1.00	2500	12.000	35334

$0.75 \phi_d \phi N_{cb} = 0.75 \phi_d \phi (A_{Nc} / A_{Nco}) \Psi_{ed,N} \Psi_{c,N} \Psi_{cp,N} N_b$ (Sec. D.3.3.3, D.4.1 & Eq. D-4)

A _{Nc} (in ²)	A _{Nco} (in ²)	Ψ _{ed,N}	Ψ _{c,N}	Ψ _{cp,N}	N _b (lb)	φ	0.75 φ _d φ N _{cb} (lb)
432.00	1296.00	0.750	1.00	1.000	35334	0.65	4306

6. Adhesive Strength of Anchor in Tension (AC308 Sec. 3.3)

$\tau_{k,cr} = \tau_{k,cr} f_{short-term} K_{sat} \alpha_{N,seis}$

τ _{k,cr} (psi)	f _{short-term}	K _{sat}	α _{N,seis}	τ _{k,cr} (psi)
855	1.00	1.00	1.00	855

$N_{a0} = \tau_{k,cr} \pi d_b h_{ef}$ (Eq. D-16f)

τ _{k,cr} (psi)	d _b (in)	h _{ef} (in)	N _{a0} (lb)
855	0.63	12.000	20145

$0.75 \phi_u \phi N_a = 0.75 \phi_u \phi (A_{Na} / A_{Na0}) \Psi_{ed,Na} \Psi_{p,Na} N_{a0}$ (Sec. D.3.3.3, D.4.1 & Eq. D-16a)

A _{Na} (in ²)	A _{Na0} (in ²)	Ψ _{ed,Na}	Ψ _{p,Na}	N _{a0} (lb)	φ	0.75 φ _d φ N _a (lb)
156.66	223.60	0.820	1.000	20145	0.65	5645

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E-mail:			

11. Interaction of Tensile and Shear Forces (Sec. D.7)

Tension	Factored Load, N _{ua} (lb)	Design Strength, φN _n (lb)	Ratio	Status
Steel	4300	9833	0.44	Pass
Concrete breakout	4300	4306	1.00	Pass (Governs)
Adhesive	4300	5645	0.76	Pass

SET-XP w/ 5/8"Ø F1554 Gr. 36 meets the selected design criteria.

12. Warnings

- Concrete compressive strength used in concrete breakout strength in tension, adhesive strength in tension and concrete pryout strength in shear for SET-XP adhesive anchor is limit to 2,500 psi per ICC-ES ESR-2508 Section 5.3.

- Brittle failure governs. Governing anchor failure mode is brittle failure.

Per ACI 318-08 Section D.3.3.4, anchors shall be designed to be governed by the steel strength of a ductile steel element in structures assigned to Seismic Design Category C, D, E, or F.

Alternatively it is permitted to take the design strength of the anchors as 0.4 times (or 0.5 times for the anchors of stud bearing walls) determined in accordance with Section D.3.3.3, or the attachment the anchor is connecting to the structure shall be designed so that the attachment will undergo ductile yielding at a force level corresponding to anchor forces no greater than the design strength of anchors specified in Section D.3.3.3. To include the strength reduction factor in the calculation, select a reduction factor from the Inputs tab and re-calculate.

- Designer must exercise own judgement to determine if this design is suitable.

- Refer to manufacturer's product literature for hole cleaning and installation instructions.

Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.

5956 W. Las Positas Boulevard Pleasanton, CA 94588 Phone: 925.560.9000 Fax: 925.847.3871 www.strongtie.com



Company:		Date:	3/26/2014
Engineer:		Page:	1/4
Project:			
Address:			
Phone:			
E-mail:			

1. Project information

Customer company:
 Customer contact name:
 Customer e-mail:
 Comment:

Project description:
 Location: Anch 4
 Fastening description: SWSB

2. Input Data & Anchor Parameters

General

Design method: ACI 318-08
 Units: Imperial units

Anchor Information:

Anchor type: Bonded anchor
 Material: F1554 Grade 36
 Diameter (inch): 0.625
 Effective Embedment depth, h_{ef} (inch): 12.000
 Code report: ICC-ES ESR-2508
 Anchor category: -
 Anchor ductility: Yes
 h_{min} (inch): 15.13
 c_{ac} (inch): 31.04
 c_{min} (inch): 1.75
 s_{min} (inch): 3.00

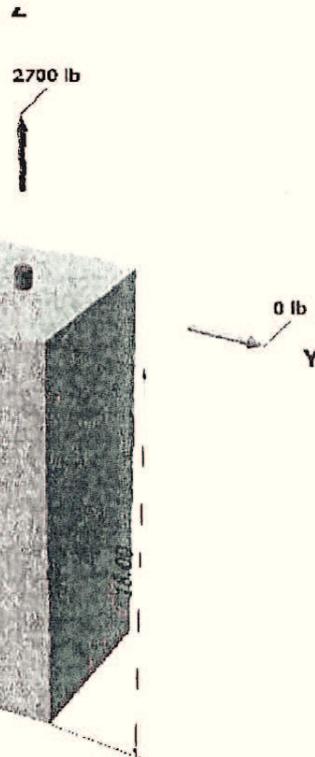
Base Material

Concrete: Normal-weight
 Concrete thickness, h (inch): 18.00
 State: Cracked
 Compressive strength, f_c (psi): 2500
 $\Psi_{e,v}$: 1.0
 Reinforcement condition: B tension, B shear
 Supplemental reinforcement: Not applicable
 Do not evaluate concrete breakout in tension: No
 Do not evaluate concrete breakout in shear: No
 Hole condition: Dry concrete
 Inspection: Continuous
 Temperature range: 1
 Ignore 6do requirement: Not applicable
 Build-up grout pad: No

Base Plate

Load and Geometry

Load factor source: ACI 318 Section 9.2
 Load combination: not set
 Seismic design: Yes
 Anchors subjected to sustained tension: No
 Strength reduction factor for brittle failure, ϕ_u : not applied
 Apply entire shear load at front row: No
 Anchors only resisting wind and/or seismic loads: Yes



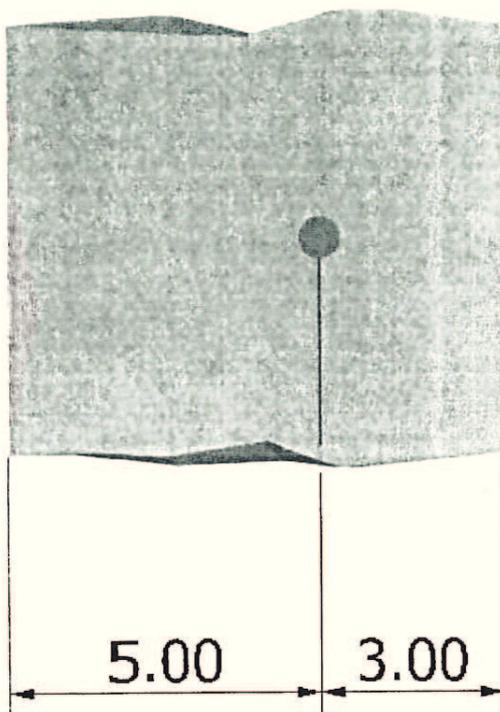
<Figure 1>

Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
 5956 W. Las Positas Boulevard Pleasanton, CA 94588 Phone: 925.560.9000 Fax: 925.847.3871 www.strongtie.com

SIMPSON Anchor Designer™
 Software
 Version 2.0.4896.19

Company:		Date:	3/26/2014
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Project:			
Address:			
Phone:			
E-mail:			

<Figure 2>



Recommended Anchor
 Anchor Name: SET-XP® - SET-XP w/ 5/8"Ø F1554 Gr. 36
 Approval No: ICC-ES ESR-2508



Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
 5956 W. Las Positas Boulevard Pleasanton, CA 94588 Phone: 925.560.9000 Fax: 925.847.3871 www.strongtie.com



Company:		Date:	3/26/2014
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Project:			
Address:			
Phone:			
E-mail:			

3. Resulting Anchor Forces

Anchor	Tension load, N _{ua} (lb)	Shear load x, V _{uax} (lb)	Shear load y, V _{uay} (lb)	Shear load combined, √(V _{uax}) ² + (V _{uay}) ² (lb)
1	2700.0	0.0	0.0	0.0
Sum	2700.0	0.0	0.0	0.0

Maximum concrete compression strain (‰): 0.00
 Maximum concrete compression stress (psi): 0
 Resultant tension force (lb): 2700
 Resultant compression force (lb): 0
 Eccentricity of resultant tension forces in x-axis, e'_{Nx} (inch): 0.00
 Eccentricity of resultant tension forces in y-axis, e'_{Ny} (inch): 0.00

4. Steel Strength of Anchor in Tension (Sec. D.5.1)

N _{sa} (lb)	φ	φN _{sa} (lb)
13110	0.75	9833

5. Concrete Breakout Strength of Anchor in Tension (Sec. D.5.2)

$N_b = k_c \lambda \sqrt{f_c} h_{ef}^{1.5}$ (Eq. D-7)

k _c	λ	f _c (psi)	h _{ef} (in)	N _b (lb)
17.0	1.00	2500	12.000	35334

$0.75 \phi_d \phi N_{cb} = 0.75 \phi_d \phi (A_{Nc} / A_{Nco}) \psi_{ed,N} \psi_{c,N} \psi_{cp,N} N_b$ (Sec. D.3.3.3, D.4.1 & Eq. D-4)

A _{Nc} (in ²)	A _{Nco} (in ²)	ψ _{ed,N}	ψ _{c,N}	ψ _{cp,N}	N _b (lb)	φ	0.75 φ _d φ N _{cb} (lb)
288.00	1296.00	0.750	1.00	1.000	35334	0.65	2871

6. Adhesive Strength of Anchor in Tension (AC308 Sec. 3.3)

$\tau_{k,cr} = \tau_{k,cr}^{short-term} K_{sat} \alpha_{N,seis}$

τ _{k,cr} (psi)	f _{short-term}	K _{sat}	α _{N,seis}	τ _{k,cr} (psi)
855	1.00	1.00	1.00	855

$N_{a0} = \tau_{k,cr} \pi d_a h_{ef}$ (Eq. D-16f)

τ _{k,cr} (psi)	d _a (in)	h _{ef} (in)	N _{a0} (lb)
855	0.63	12.000	20145

$0.75 \phi_d \phi N_a = 0.75 \phi_d \phi (A_{Na} / A_{Na0}) \psi_{ed,Na} \psi_{p,Na} N_{a0}$ (Sec. D.3.3.3, D.4.1 & Eq. D-16a)

A _{Na} (in ²)	A _{Na0} (in ²)	ψ _{ed,Na}	ψ _{p,Na}	N _{a0} (lb)	φ	0.75 φ _d φ N _a (lb)
119.63	223.60	0.820	1.000	20145	0.65	4310

Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
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Company:		Date:	3/26/2014
Engineer:		Page:	4/4
Project:			
Address:			
Phone:			
E-mail:			

11. Interaction of Tensile and Shear Forces (Sec. D.7)

Tension	Factored Load, N _{ua} (lb)	Design Strength, φN _n (lb)	Ratio	Status
Steel	2700	9833	0.27	Pass
Concrete breakout	2700	2871	0.94	Pass (Governs)
Adhesive	2700	4310	0.63	Pass

SET-XP w/ 5/8"Ø F1554 Gr. 36 meets the selected design criteria.

12. Warnings

- Concrete compressive strength used in concrete breakout strength in tension, adhesive strength in tension and concrete pryout strength in shear for SET-XP adhesive anchor is limit to 2,500 psi per ICC-ES ESR-2508 Section 5.3.

- Brittle failure governs. Governing anchor failure mode is brittle failure. Per ACI 318-08 Section D.3.3.4, anchors shall be designed to be governed by the steel strength of a ductile steel element in structures assigned to Seismic Design Category C, D, E, or F. Alternatively it is permitted to take the design strength of the anchors as 0.4 times (or 0.5 times for the anchors of stud bearing walls) determined in accordance with Section D.3.3.3, or the attachment the anchor is connecting to the structure shall be designed so that the attachment will undergo ductile yielding at a force level corresponding to anchor forces no greater than the design strength of anchors specified in Section D.3.3.3. To include the strength reduction factor in the calculation, select a reduction factor from the Inputs tab and re-calculate.

- Designer must exercise own judgement to determine if this design is suitable.

- Refer to manufacturer's product literature for hole cleaning and installation instructions.

Input data and results must be checked for agreement with the existing circumstances, the standards and guidelines must be checked for plausibility.
 5956 W. Las Positas Boulevard Pleasanton, CA 94588 Phone: 925.560.9000 Fax: 925.847.3871 www.strongtie.com



OWNER/BUILDER NOTICE TO PROPERTY OWNER

PLANNING & BUILDING DEPARTMENT • COUNTY OF SAN LUIS OBISPO
876 OBOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Dear Property Owner:

An application for a building permit, number PMT 2013-02460 has been submitted in your name listing yourself as the builder of the property improvements specified at (project address) 8350 VINEYARD DRIVE. We are providing you with an Owner/Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner/Builder. We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the San Luis Obispo County Building Official.

OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION DIRECTIONS:

Read and initial each statement below to signify you understand or verify this information.

- 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner/Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner/Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner/Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.
- 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.
- 3. I understand as an "Owner/Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.
- 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.
- 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.
- 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

- 7. I understand under California Contractors' State License Law, an Owner/Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.
- 8. I understand as an Owner/Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.
- 9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.
- 10. I am aware of and consent to an Owner/Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address:
- 11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner/Builders as well as employers.
- 12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form.

Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed contractors may be in civil court. It is also important for you to understand that if an unlicensed contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner/Builder and wish to hire contractors, you will be responsible for verifying whether or not those contractors are properly licensed and the status of their Workers' Compensation insurance coverage.

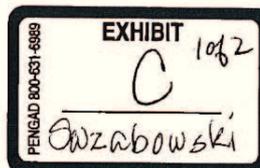
Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other acceptable verification is required to be presented when the permit is issued to verify the property owner's signature.

Print Name Brian Dirk Signature of property owner [Signature] Date: 9/26/14

OWNER/BUILDER - NOTICE TO PROPERTY OWNER
SAN LUIS OBISPO COUNTY PLANNING & BUILDING
SLOPLANNING.ORG

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REVISED 7/12/13
PLANNING@CO.SLO.CA.US



Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
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2013-02460



CONSENT OF LANDOWNER/
AUTHORIZATION OF AGENT

PLANNING & BUILDING DEPARTMENT • COUNTY OF SAN LUIS OBISPO
978 OBOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5800

AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

Excluding the Owner/Builder Notice to Property Owner, the execution of which I understand is my personal responsibility, I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project.

Scope of Construction Project or Description of Work: RESIDENTIAL REMODEL

Project Location or Address 8350 VINEYARD DRIVE

Name of Authorized Agent: CARON ARCHITECTURE

Address of Authorized Agent: 1404 BROAD ST. SLO, CA

Phone Number of Authorized Agent: 805 627 1875

I declare under penalty of perjury that I am the property owner for the address listed above and I personally filled out the above information and certify its accuracy.

Property Owner's Signature:  Date: 9/26/14

C-2



Construction Permit

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Applicant : WILLOW CREEK NEWCO LLC

Permit : Add/Alt Single Family Dwelling

Permit #: PMT2013-02460 **Project #:** PMT2013-02460 **Issued:** 10/1/2014

Expires: 10/1/2017

PROJECT DESCRIPTION

RESIDENTIAL REMODEL (5,960 SQ. FT.) & CONVERT EXISTING GARAGE TO HABITABLE SPACE (805 SQ. FT.) & ENCLOSE PORCH AREA (178 SQ. FT.), INCLUDES NEW WINDOWS & DOORS, DEMOLITION OF ~90 % OF THE EXT. & INT. WALLS, STRUCTURAL MODIFICATIONS INCLUDING NEW WALLS, HEADERS, BEAMS, & FOOTINGS, ADDING (??) BEDROOMS, ADDING (??) BATH ROOMS, ALTERING THE SUPPORT SYSTEMS (??), NO MODIFYING ROOFING MATERIAL IS PROPOSED AND PATCHING OF EXISTING SIDING (??).

Remodel 5,960.00

PROJECT DETAILS

Project Address: 08530 VINEYARD DR NCADEL	Lot Size: Height Allowed 35.00	Insp. Area: 05
Community: NCADEL	No. of Bathrooms	Setbacks:
	No. of Bedrooms	Front 25.00
	No. Stories 2.00	Left 30.00
	Soil Percolation Rate	Right 30.00
		Rear 30.00
Parcel(s) for this project: 014-331-073	Occupancy Class R-3	Types of Construction: VB - All materials-no fire resistance Sprinklered

APPLICABLE CODES

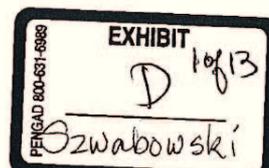
2008 California Energy Code
 2013 California Building Code, Vols 1 & 2
 2013 California Electrical Code
 2013 California Fire Code
 2013 California Green Building Code
 2013 California Mechanical Code
 2013 California Plumbing Code
 2013 California Reference Standards Code
 2013 California Residential Code
 County Building and Construction Ordinance - Title 19
 County Coastal Zone Land Use Ordinance - Title 23
 County Fire Code Ordinance - Title 16
 County Land Use Ordinance - Title 22

CONTACTS

Owner: WILLOW CREEK NEWCO LLC
 940 S COAST DR #260 COSTA MESA CA
 92626-

Engineer: VANCE, TRUITT
 860 WALNUT ST STE C SAN LUIS OBISPO
 CA 93401

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Construction Permit

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Email: trutt@ashleyvance.com

Phone: 805-545-0010

Contractor: ORMONDE DAVE
P.O. BOX 422 TEMPLETON CA 93465

SPECIAL REQUIREMENTS

Prior to Foundation

Special Inspection Apv/Rpt-S *UnMet* post installed anchors.
Titen anchors and Epoxy SET-XP or AT-XP for concrete SET for Block.

Prior to Frame

Misc. Hold-Framing-R *UnMet* Prior to framing inspection please do the following:

Structural observation of wood diaphragms and shear walls

Fire Sprinkler Plan/Pmt Req-R *Met* Provide plans for approval before rough framing. Please allow a minimum of 4 weeks for Fire Plan Review.

Prior to Final

Fire Agency Insp Req-F *UnMet* Fire Agency Must Inspect and Sign-Off on all Access, Address, Devices and Systems Prior to Final Inspection

CWMP Recycle Compliance-F *UnMet* PRIOR to the final building inspection, the permittee must provide documentation to show compliance with the 70% recycling requirement. To avoid delaying Final Approval, submit ORIGINAL waste handling and recycling receipts to the Environmental Spec. Coordinator, Barry Tolle at least 7 working days prior to requesting a Final Inspection. You can contact Barry Tolle at (805)781-5628 or fax receipts (include Permit Number) to 788-2414. Failure to provide all receipts or to achieve the 70% recycling requirement will prevent the finaling of your project.

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Construction Permit

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Dear Property Owner(s):

A Stormwater Pollution Prevention Plan (SWPPP) is required for all construction activities in California that include clearing, grading, disturbances to the ground such as stockpiling, or excavation that results in soil disturbances of one acre or more of total land area, or which is part of a common plan of development or sale (i.e. part of a parcel or tract map with more than an acre of total site disturbance including subdivision improvements).

The SWPPP requires lot owners, such as you, to be responsible for protecting stormwater runoff during and after construction of homes. In order to help ensure that home construction does not result in stormwater pollution, the homeowner and their representative in charge of construction are required to use Best Management Practices to eliminate or minimize pollutants in stormwater runoff. Construction Best Management Practices are structural controls and construction measures that primarily emphasize erosion and sediment control and pollution prevention.

This is brought to your attention to ensure that you are aware of the need to include Best Management Practices during and after construction (see your approved sedimentation and erosion control plans). Failure to do so may result in enforcement action by the Regional Water Quality Control Board or County Code Enforcement.

If you have any questions, please contact the following Water Board staff or County staff:

David Innis at (805) 549-3150 or dbinnis@waterboards.ca.gov

Elizabeth Szwabowski at (805) 781-5725 or eszwabowski@co.slo.ca.us

Murry Wilson at (805) 788-2352 or mwilson@co.slo.ca.us

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Construction Permit

San Luis Obispo County Department of Planning and Building

County Government Center San Luis Obispo, California 93408 Telephone: (805) 781-5600

LEGAL DECLARATIONS

APPLICANT IS (check one) OWNER CONTRACTOR

OWNER-BUILDER DECLARATION (if applicant is owner of the property or owner's authorized agent, he/she must certify one of the following statements to be true):

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work and the structure is not offered nor intended for sale.
- I, as owner of the property, am exclusively contracting with licensed contractors to construct this project.

WORKER COMPENSATION DECLARATION (every applicant owner must certify one of the following statements to be true):

- I hereby affirm that I have a current certificate of consent to insure or a certificate of workers compensation insurance and that I will maintain this certificate until completion of this project.
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of California.

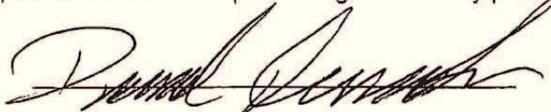
OWNER/AGENT ACKNOWLEDGES SPECIAL REQUIREMENTS.

NOTICE TO APPLICANT: If, after making any of the foregoing declarations, you become subject to any Labor Code or License Law provision, you must comply with such provisions or this permit shall be deemed revoked.

APPLICANT AGREEMENT: I certify that I have read this permit form and state that the information on it and on the permit application is correct. I agree to comply with all County ordinances and state laws relating to building construction and with all special requirements identified on the permit, and I hereby authorize representatives of the County to enter upon the above-mentioned property for inspection purposes. Every permit issued shall become invalid as follows:

- 1) Permits for buildings with a floor area of 1000 square feet or greater shall remain valid for a time period of three years from the date of issuance.
- 2) Permits for buildings with a floor area of less than 1000 square feet or for other miscellaneous work shall remain valid for a time period of one year from date of issuance.
- 3) Permits for work that was started and/or completed prior to issuance of the permit (also known as "as-built") shall be valid for a time period of 180 days from the date of issuance.

In order to received this permit you may have paid Public Utility Fees, Road Fees, and/or Air Quality Mitigation Fees in the amounts shown on your Statement of Fees and Project Hold Conditions. Pursuant to the Mitigation Fee Act (California Government Code Section 6600 et seq.), the issuance of this permit begins a 90-day period for protesting such fees.

Signed:  Date: 10/7/14

Print Name: _____

Person signing here is (check one): Actual Applicant Authorized Employee/Partner Applicant Authorized Agent per Consent of Landowner Form

*** PLEASE CALL USA 1-800-227-2600 UNDERGROUND SERVICE ALERT BEFORE DIGGING ***

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Construction Permit

San Luis Obispo County Department of Planning and Building

County Government Center

San Luis Obispo, California 93408

Telephone: (805) 781-5600

Simplified Recycling Plan

Excerpt from the Construction Permit Application

WASTE MANAGEMENT

You need to review the Requirements for Managing Project Waste information on the back of this form and then check the box that fits your project. You must check one of the boxes prior to permit issuance. Note: IWMA means Integrated Waste Management Authority

Are you planning to

- A) use an IWMA-certified construction and demolition waste recycling facility? or
 B) use other recycling and disposal facilities?

If B is checked, you must fill out Sections 1 & 2 of a Detailed Recycling Plan form and have it approved prior to the permit being issued. For a copy of the Detailed Recycling Plan form, use the web: <http://www.slocounty.ca.gov/planning/formslibrary.htm>. or contact Building Div. (781-5628). For more information and a list of certified facilities read the **Requirements for Managing Project Waste** on the back of this form.

LEGAL DECLARATION

I, the owner of record of this property, or authorized agent, have accurately completed this form and declare that all statements herein are true. I acknowledge the responsibility for recycling my project's waste and the penalty for non-compliance. I agree to comply with the requirements of the State Green Code and SLO County's Green Ordinance

Property owner/Agent signature _____

Date _____

Prior to a construction permit being issued, this page must be signed and faxed to 805-788-2414, or mailed to

Environmental Specialist, Building Division
 County Government Center, Room 200
 Old County Courthouse
 San Luis Obispo CA 93408

Please allow one week for receipt and approval prior to permit issuance.

TO EXPEDITE THE PROCESSING OF YOUR RECYCLING PLAN, PLEASE SEND OR FAX IT TO BUILDING DIVISION AT THE ABOVE NUMBER / ADDRESS

Seven days prior to Final Inspection you must submit receipts from all of the recycling and landfill facilities that received waste from your project. Final Inspection approval will be delayed until the receipts are submitted and approved. Anticipate when you will need Final Inspection approval.

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2013-02460



CONSTRUCTION PERMIT

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING & BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO, CA 93426

Promoting the Wise Use of Land

Case: PMT2013-02460
WILLOW CREEK NEWCO LLC
Project: APN: 014-331-073
Add/Alt Single Family Dwelling
INTERIOR REMODEL - COMPLETE
REMODEL OF 2 STORY RESIDENCE -
08530 VINEYARD DR RADEL

APPLICANT / AGENT / CONTRACTOR / ARCHITECT INFORMATION

Landowner Name Willow Creek Newco LLC Daytime Phone: _____
Mailing Address 3 Bryan Drive City: Wheeling, WV Zip: 26603

Agent Joel Snyder - Caron Design Inc. Daytime Phone: (805) 748-2156
Mailing Address 1404 Broad St City: SLO Zip: 93401

Contractor Dave Ormonde Daytime Phone: (805) 423-6467
Mailing Address PO Box 422 City: Templeton, CA License #: _____

Architect/Designer/Engineer _____ Daytime Phone: _____
Mailing Address _____ City: _____ License #: _____

E-mail address for Owner Agent Architect Engineer (check one) joel@caronarchitecture.com

PROPERTY INFORMATION

Assessor Parcel Number(s): 014-331-073 Total Size of Lot: 135.5 acres
Address of the project (if known): 8350 vineyard drive Paso Robles, CA 93446
Directions to the site - describe first with name of road providing primary access to the site, then nearest roads, landmarks, etc.:

Describe current uses, existing structures, and other improvements and vegetation on the property: _____
Uses as related to olive orchard. Tasting room.

TYPE OF PROJECT (check all that apply)

All New Addition Alteration Repair Demolish Moved Building Grading Barn Garage
 Single Family Dwelling Multi-Family Dwelling Mobile Home Commercial Industrial Sign

Describe the scope of work for this project: remodel of existing SF residence within existing SF
convert 885 sq ft garage to living, convert 359 sq ft house to porch, convert 1905 sq ft porch to house. NET 606 sq ft of NEW LIVING

SIZE OF PROJECT

Residence 5960 sq. ft. Garage _____ sq. ft. Carport _____ sq. ft. Covered Porch 622 sq. ft.
Storage _____ sq. ft. Deck 65 sq. ft. Barn _____ sq. ft. Commercial _____ sq. ft. Other _____ sq. ft.
Number of: Bedrooms 7 Bathrooms 6.5 Stories 2
Height of: Roof above average grade 20' Retaining/Garden Wall _____ Length of Wall _____
Occupancy Group: R-3 Construction Type: _____

GRADING No Yes Maximum Depth of: Cut _____ Fill _____
Quantity in Cubic Yards: Cut _____ c.y. Fill: _____ c.y. Total _____ c.y. (cut plus fill)
Percent Slope of Natural Grade: _____ % Total Area of Site Disturbance _____

UTILITIES

Water: Well Public - agency or company responsible for water provision: _____
Fuel Gas: LPG Natural Gas Pool Heating: LPG Natural Gas
Sewage Disposal: Private Public - agency or company responsible for sewage disposal _____

Fire Jurisdiction: _____ *Fire Hazard Zone _____

*Contact Cal Fire at (805) 543-4244 to find out the Fire Hazard Zone for the property. If the property is located in a Fire Hazard Zone, see the Fire Resistant Construction Requirements handout.

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TYPE OF CONSTRUCTION

Foundation: Slab Perimeter & Piers Pole Other _____
 Framework: Wood Stud Masonry/Concrete Metal Timber Other _____
 Exterior: Stucco Plywood Board Stone Veneer Brick Veneer
 Metal Hardy Board Other _____
 Roof: Pitch: 6:12 Material: Tile Built-up Comp Comp Shingle Metal Other _____
 (min)

ENERGY INFORMATION

Energy Credit: Yes, exceeds _____% If your project exceeds the California Energy Code requirements by 15% or more, you may receive a fee credit of 25% of the building inspection fee up to a maximum of \$250.

MOVED BUILDING

If you are proposing to move a building, provide the following information.

Existing Location _____ Community _____

MANUFACTURED HOUSING

If you are proposing to use manufactured housing, provide the following information.

Manufacturer _____ Year _____ Length _____ Width _____
 Serial Numbers _____ HCD or HUD Label number _____

WASTE MANAGEMENT - RECYCLING PLAN

Please review the **Explanation of Choices** information provided on a separate flyer that is available in the Public Works Department and then check the box that fits your project.

Are you planning to

- A) use an Integrated Waste Management Authority (IWMA)-certified construction and demolition waste recycling facility? or
- B) use other recycling and disposal facilities?

LEGAL DECLARATION FOR WASTE MANAGEMENT / RECYCLING PLAN

By signing below I acknowledge the responsibility for recycling my project's waste and the penalty for non-compliance. I agree to comply with the requirements of the County Construction & Demolition Debris Recycling Ordinance and demonstrate compliance by providing receipts to verify recycling.

BY MY SIGNATURE BELOW, I CERTIFY TO EACH OF THE FOLLOWING:

- I am the property owner, contractor or authorized to act on the property owner's behalf.*
- I have read this application, declaration/disclosure forms and the information I have provided is correct.
- I agree to comply with all applicable city and county ordinances and state laws relating to building construction.
- I authorize representatives of this city or county to enter the above-identified property for inspection purposes.
- Your construction permit application is public record and is therefore published on the weekly reports within the San Luis Obispo County Planning and Building Department's website as well as the public information area. All references to names, addresses, telephone numbers and project information will be part of this public record. All applications must be filed under the property owner's name and address; however, you may use an alternate contact address and telephone number.
- If you do not pick up your permit within one year of application, it will expire. An extension of 180 days may be granted upon written request.

Print Name of Owner / Authorized Agent/ Contractor JOEL SNYDER Date 4/4/14

Signature of Owner / Authorized Agent/ Contractor _____ Date 4/4/14

Note: When the Permit Application and the Owner-Builder Declaration have been executed by a person other than the property owner prior to issuing the permit, the "Authorization of Agent to Act on Property Owner's Behalf" form shall be completed by the property owner and returned to the agency responsible for issuing the permit.

* The property owner is required to complete and sign the NOTICE TO PROPERTY OWNER form and furnish a copy of their driver's license to verify signature. (Not needed if licensed contractor)



CONSTRUCTION PERMIT APPLICATION DECLARATIONS AND DISCLOSURE

SAN LUIS OBISPO COUNTY DEPARTMENT OF PLANNING AND BUILDING
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Promoting the Wise Use of Land • Helping to Build Great Communities

D.O.S.H. HAZARDOUS ACTIVITIES CLEARANCE

California State Law requires that a permit be obtained from the Division of Occupational Safety and Health (DOSH) for projects that involve performance of certain hazardous activities.

Please identify if the proposed project would involve any of the following hazardous activities:

- | | YES | NO | |
|----|--------------------------|-------------------------------------|--|
| 1. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Construction of trenches or excavations (including utility, foundation and retaining wall construction involved within the excavation) which are five feet or deeper and into which a person is required to descend. |
| 2. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Construction or demolition of any building, structure, falsework, or scaffolding more than three stories or 36 feet high. |
| 3. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | The underground use of diesel engines for work in mines and tunnels and any work involving blasting. |
| 4. | <input type="checkbox"/> | <input checked="" type="checkbox"/> | Are employees working within the excavation areas described in questions 1 or 3? |

If you answered YES to questions 1, 2, or 3, and question 4, proof of DOSH permit must be submitted to the Department of Planning and Building before building permits are issued for the proposed work.

If you answered NO to question 4, you are not required to obtain a DOSH permit even though you may have answered YES to questions 1, 2 or 3.

- DOSH permits are NOT required for the following:**
 - Governmental agencies - state, county, city or district
 - Public utilities subject to the jurisdiction of the Public Utilities Commission
 - Construction of trenches or excavations for emergency repairs to underground facilities
 - Construction of graves (See Section 7014 of the Health and Safety Code)
 - Construction of swimming pools
- Make sure you prepare the following before you obtain your DOSH permit:**
 - "Code of Safety Practices"
 - "Injury and Illness Prevention Program"

For any question regarding DOSH enforcement, contact:

Division of Occupational Safety and Health
1655 Meso Verde, Room No. 150
Ventura, CA. 93003 Van
(805) 654-4581 www.dir.ca.gov/dosh

For Permits by Appointment Only contact
6150 Van Nuys Blvd. STE 405
Nuys, CA 91401
901-5403

I certify under penalty of perjury under the laws of the State of California that the above is true and correct.

Initial _____

DECLARATION OF CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name n/a

Lender's Address _____

Initial _____

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INFORMATION DISCLOSURE FORM

TIME LIMITS FOR PROCESSING AND PUBLIC NOTICE DISTRIBUTION REQUIREMENTS

California law requires that the county provide the following information to applicants when a development permit application is filed:

Not later than 30 days after a development permit application is received, the county must notify the project applicant or designated representative in writing either that the application is complete, or that items are necessary to complete the application. If you are not notified in writing, the application is considered complete. Any development permit application must be approved or denied within 60 days of adoption of the Negative Declaration or determination that the project is exempt, or within 180 days of the certification of the Environmental Impact Report. If the development project includes affordable housing and certain criteria is met, the 180 days is reduced to 90 days. The County of San Luis Obispo processes the development permit application and the environmental review concurrently, so these decisions are made simultaneously. Questions about this process can be answered by your project planner. (*Government Code Sections 65941.5, 65943 and 65950*).

A project applicant may make a written request to the county, to receive notice of any proposal to adopt or amend the general plan and the land use, real property division, building and construction, road name and addressing, and growth management ordinances which might reasonably be expected to affect that applicant's project. The county offers a subscription service for notification of either: (1) all applications received by the county, or (2) Planning Commission agendas. The cost for each of these services is established by the county fee ordinance. (*Government Code Section 65945*).

When a property was created through recordation of a final or parcel map, and it is within five years of recordation, the county can not withhold or condition the issuance of building permits for residential units based on conformance with conditions that could have been imposed as conditions of the tentative map except where: A failure to do so would place subdivision residents or residents in the immediate area in a condition perilous to health, safety or both; or The condition is required in order to comply with state or federal law. (*Government Code Section 65961*)

The Secretary for Environmental Protection maintains a list of all hazardous waste and substance facilities and sites and contaminated public drinking water wells. This information is available to any person upon request. (Government Code section 65962.5). Copies of these Government Code Sections are available at the County of San Luis Obispo Law Library, County Government Center, San Luis Obispo, CA."

RIGHT TO FARM DISCLOSURE

Disclosure pursuant to 5.16.040(b) - The County of San Luis Obispo declares it a policy to protect and encourage agricultural operations as defined in Chapter 5.16 of the San Luis Obispo County Code. If your property is located in the unincorporated area of the county, near an agricultural operation, you may at sometime be subject to inconvenience or discomfort arising from agricultural operations. If conducted in a manner consistent with state law and County Code, said inconveniences and discomforts shall not be or become a nuisance.

HAZARDOUS WASTE AND SUBSTANCE SITES DISCLOSURE

Disclosure pursuant to AB 3750 - Please verify whether your project is on the Known Hazardous Waste and Substances Sites List pursuant to AB 3750 at <https://geotracker.waterboards.ca.gov/> or available at our permit center.

Please Complete and Sign Below

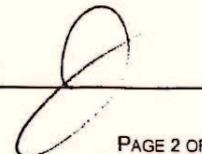
I acknowledge that I have read and understand the information and policy detailed above:

- Time Limits for Processing and Public Notice Distribution requirements
- Right to Farm Disclosure

and I acknowledge that I have reviewed the list of Known Hazardous Waste and Substances Sites List and find the following:

- The site is **not** shown on the list of Known Hazardous Waste and Substances Sites.
- The site **is** shown on the Known Hazardous Waste and Substances Sites List.

Initial _____



CONSTRUCTION PERMIT APPLICATION – DECLARATIONS & DISCLOSURES
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LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ License No. _____ Date _____

Contractor Signature: _____

WORKERS' COMPENSATION DECLARATION

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES. I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____ Expiration Date _____ Name of Agent _____ Phone # _____

____ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature of Owner/Authorized Agent/Contractor _____ Date: _____

AUTHORIZATION OF AGENT TO ACT ON PROPERTY OWNER'S BEHALF

Excluding the Notice to Property Owner, the execution of which I understand is my personal responsibility, I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project.

Scope of Construction Project or Description of Work: Single fam remodel

Project Location or Address: 8350 Vineyard drive

Name of Authorized Agent: Joel Snyder

Address of Authorized Agent: 1404 Broad Street

Phone Number of Authorized Agent: 805-748-2156

I declare under penalty of perjury that I am the property owner for the address listed above and I personally filled out the above information and certify its accuracy.

Property Owner's Signature:  Date: 4-4-14

Note: A copy of the owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do () all of or () portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

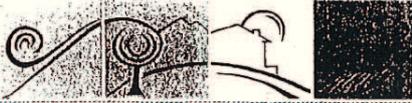
I am exempt from licensure under the Contractors' State License Law for the following reason: _____

I have signed and completed the **Notice to Property Owner** form

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following website: <http://www.leginfo.ca.gov/calaw.html>.

Signature of Owner/Authorized Agent _____ Date: 4-4-14

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ZONING CLEARANCE / PLOT PLAN APPLICATION

PLANNING & BUILDING DEPARTMENT • COUNTY OF SAN LUIS OBISPO
976 OSOS STREET • ROOM 200 • SAN LUIS OBISPO • CALIFORNIA 93408 • (805) 781-5600

Active APN: 014 - 331 - 073

Intake Planner Initials: NF

- Coastal Zone (Plot Plan) Inland Area (Zoning Clearance)

Date: 4-4-2014

Actions:

- Approved as is (Over the Counter) Conditional Approval (Route to Cross-Check) Denied

Proposal:

Proposed Use: Remodel/Addition to existing SFD.

Proposed Type of Structure: SFD.

Proposed Grading: Purpose: N/A

Area of disturbance: N/A Sq.ft Acres Total Impervious Surface: _____

Amount: N/A Cubic yards Slope%: N/A Minor Major

Existing Uses & Structures on Property SFD (x ?)

Parcel Information:

Planning Area/Community Adel / Rural Land Use Designations (Zoning) AG FH GSA

Associated Land Use/Subdivision: _____

Special Planning Area Standards/Comments: _____

Setbacks: Measured From Street: Vineyard Dr. Sub. Cond. Planning Area Standards

Front: 25 Back: 30 Left: 30 Right: 30

Maximum Allowed Height: 35' Proposed Height: 20'

Measured From: (circle one) Average Natural grade Street Centerline Highest point of lot Finished grade

Lot Type: (circle one) STANDARD CORNER TRIANGLE DOUBLE FLAG

Additional Activities & Routing:

- GMO Allocation _____ Other _____
- Cross Check to: _____
- Code Enforcement _____ (case number / officer)
- Public Works Flood Hazard Curb, Gutter & Sidewalk Drainage MS -4
- Current Planning Planner/Project _____

- Return to Permit Center Planner for additional notes _____
- Within 3 feet of height limit (Height Survey needed) _____
- Other _____

Additional Conditions:

Resolution

Comments

<input type="checkbox"/> Record Secondary Dwelling agreement	_____	_____
<input type="checkbox"/> Record offer of dedication	_____	_____
<input type="checkbox"/> Road improvement - gravel	_____	_____
<input type="checkbox"/> Verify access easement/deed	_____	_____
<input type="checkbox"/> Legal Lot - Deed verify pre-1960, 1966, 1972	_____	_____
<input type="checkbox"/> Revise Plot Plan	_____	_____
<input type="checkbox"/> Architectural Committee review	_____	_____
<input type="checkbox"/> Williamson Act Compliance	_____	_____
<input type="checkbox"/> Cal Fire Setback Adjustment	_____	_____
<input type="checkbox"/> Ground Squirrel Hollow CSD	_____	_____
<input type="checkbox"/> Nipomo H ₂ O Standards	_____	_____
<input type="checkbox"/> Stormwater Plan (> 1 acre/common plan; SWPPP/NPDES)	_____	_____
<input type="checkbox"/> SWCP Exempt (Stormwater)	_____	_____
<input type="checkbox"/> SWCP Required	_____	_____

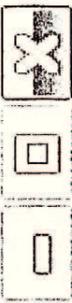
Fee Schedule:

- L14 Cond Compliance (Min Site Visit) L05 Plot Plan (Over the Counter) NPDES Fee
- L15 Cond Compliance (Minor) L06 Plot Plan Minor (Additional struct.) Z11 Lodge Hill Area
- L17 Cond Compliance (Major) L04 Plot Plan Full (Bldg pmt -1st struct.) Z96 South County Fees
- L18 Cond Compliance (Maj Site Visit) X07 Env Geo Minor (in GSA) C50 Coastal Zone Add-on Fee
- Z13 Secondary Dwelling Agmt X10 Env Geo Major (in GSA) A05 Bldg. Real Time Billing
- L09 Initial Coastal Water Well Review Inclusionary Housing Fee Public Facility fees

If Quimby Fee already paid then: ZSLQ (Parks Fee/Land)- delete **or** ZMLQ (Parks Fee/Land)- delete

WillowCreek Pmt 2013-02460
(res) (MEV)





Name: WILLOW CREEK NEWCO LLC Updated: 9/30/14 ZMH

Address: 08530 VINEYARD DR NCADEL Parcel: 014-331-073

Description: Master #: PMT2013-02460 Project

RESIDENTIAL REMODEL (5,960 SQ. FT.) & CONVERT EXISTING GARAGE TO HABITABLE SPACE (805 SQ. FT.) & ENCLOSE PORCH AREA (178 SQ. FT.), INCLUDES NEW WINDOWS & DOORS, DEMOLITION OF ~90 % OF THE EXT. & INT.

Type of Use: Add/Alt Single Family Dwelling Septic System?: No

Type of Const: VB - All mate Sprinklered Enf. Case:

Occ Class: R-3 # of Dwellings:

Insp. Area: 05 Fire Dist.: CDF / Other

Lot Size: Serv. Dist: County / Other

Lot Size Type: Coastal: No

Dist (acre): 0.00 Community: North Cty. Planning

Grd Qty (c.y.): 0.00 Plan Area: North County Planni

Applied:	4/4/14
Issued:	12/18/14
Expires:	10/1/17
Finalied:	

General
Building
Bond Information
Bond Comments
Septic 1
Recycling Receipts

E2

Name: WILLOW CREEK NEWCO LLC
 Address: 08530 VINEYARD DR NCADEL
 Description: Master # PMT2013-02480

Updated: 9/30/14 ZMH
 Parcel: 014-331-073

RESIDENTIAL REMODEL (5,960 SQ. FT.) & CONVERT EXISTING GARAGE TO HABITABLE SPACE (805 SQ. FT.) & ENCLOSE PORCH AREA (178 SQ. FT.) INCLUDES NEW WINDOWS & DOORS, DEMOLITION OF ... OF THE EXISTING UNIT

Activity for PMT2013-02460

Type of Use: Add/Alt Single Family Dwelling
 Type of Const: VB - All male Sprinklered
 Occ Class: R-3
 Insp. Area: 05 Fire Dist.: 01
 Lot Size: Serv. Dist.: 00
 Lot Size Type: Coastal: No
 Dist (acre): 0.00 Community: No
 Grd Qty (c.y.): 0.00 Plan Area: No

Description	Date	Disp	Done By	Notes	Assigned To
Leach Field	3/3/15	APPR	MIFF	5-40 pits septic tank is existing	
Shower Pan	2/25/15	APPR	JGZ	IVR Conf # 106891-01	
Drywall	1/23/15	APPR	MIFF	IVR Conf # 106073-01	
Lateral Shear	1/20/15	APPR	MIFF		
Rough Inspections	1/20/15	APPR	MIFF	revised title 24 calcs scanned into computer	
Insulation Inspections	1/15/15	CRNA	MIFF	title 24 calcs to be revised and approved by plan check. if cannot be approved by plan check they need to pr	
Lateral Shear	1/12/15	PAPV	MIFF	need structural observation by eor	
Rough Inspections	1/12/15	PAPV	MIFF	structural observation by eor	
Issue Permit	12/18/14	DONE	MIFF	permit got changed to rv status somehow and contractor could not call for inspections	
Concrete Slab	10/22/14	APPR	MIFF	in garage	
Under-Floor Plumbing	10/20/14	APPR	TAY	IVR Conf. # 103434-01	
Pier Footings	10/8/14	PAPV	MIFF	at garage and living areas	
Permit Notification	10/1/14	DONE	SAX		
Final Fee Payment	10/1/14	DONE	LMB		
Issue Permit	10/1/14	DONE	SAX		
PLANNING DIVISION FINAL	9/30/14	DONE	MEV	ok per e-mail from Holly	MEV
BUILDING PLAN CHECK FINAL	9/30/14	APPR	MEV		
SEPTIC PLAN CHECK FINAL	9/30/14	DONE	BOT	Verification by Ingram and Greene 1500 gallon septic tank O.K.	
Plan Correction Pick-up	9/25/14	DONE	CKC	on filing cabinet by break room - jessy	
2nd Correct Notification	9/24/14	DONE	CKC		
PLANNING DIVISION REVIEW	9/23/14	DONE	HAP	Holly is guest house approved? Garage conversion is not addition but guest house no internal access to m-HAP	
Septic Plan Recheck	9/17/14	DONE	BOT	1 EXISTING SEPTIC VERIFICATION provide verification as to the location and the condition of the existing sBDT	
Building Plan Recheck	9/17/14	CRNA	MEV	1 After corrections are completed please provide 2 sets of corrected plans and documents for recheck as w	
Plan Correction Return	9/11/14	DONE	ZMH	Joel at SLO counter	
Building Plan Recheck	7/10/14	CRNA	MEV		
Plan Correction Return	7/10/14	CRNA	MEV		
PLANNING DIVISION FINAL	6/16/14	DONE	HAP	Planning final completed. Cheryl talked with applicant and remodel is for a SFR only and will not result into E	
Plan Correct Notification	6/4/14	DONE	CKC	notify Joel Snyder & owner, thanks. please note that you did in computer. thanks (EAS) done - left vm for Joe SAK	
Plan Correction Pick-up	6/4/14	DONE	CKC	ryan	
Notes	6/3/14	DONE	EAS	Review with Holly Phipps she is currently processing land use permit on parcel Holly took the plans on 6/3/2	
PLANNING DIVISION REVIEW	6/3/14	DONE	HAP	Obtain Planning approval for the motel (R-1) use. Modify the current Land Use Permit (MUP DRC2013-00028HAP	
Notes	6/2/14	DONE	EAS	see case notes	
Code Enforcement	5/14/14	DONE	TLF		TLF
PUBLIC WORKS REVIEW	4/15/14	DONE	TJT	The County Department of Public Works Development Services Division reviews most building permits in the	
Building Site Check Clear	4/15/14	DONE	MIFF		
P. W. Final	4/15/14	DONE	TJT		
P. W. Received	4/15/14	DONE	TJT		
PLANNING DIVISION REVIEW	4/10/14	DONE	CKC	n/a	
Front Counter X-Check	4/10/14	DONE	KBH		
Addressing	4/10/14	DONE	CKC	addition n/a	
Site Check Sent	4/10/14	DONE	CKC		
Building Intake	4/10/14	DONE	CKC		
Zoning Clearance	4/4/14	DONE	CKC	ok per nick	
Initial Fee Payment	4/4/14	DONE	KLW	rec#2820130001465 \$1937.00 ck ok by klw	

View / Edit Activity

Activity: 081 Desc: Internal Processing Hold

Updated: 5/13/15 EAS

Disposition:

Hold Level: No hold

Dates

Date Hold Requested

Calendar Tag:

Date Hold Removed

Report Tag:

Assigned To:

Done By:

Notes:

What the story with the code enf case... we can not issue any permits until this code enf case is closed. Also see grading pmt 2013-01766, 13-01767, 13-01768

X-Coordinate:

Y-Coordinate:

IVR Confirmation Number

OK

Help

Cancel

54

View / Edit Activity

Activity: **050** Desc: **Notes**

Updated: **6/3/14** **EAS**

Edit

Disposition: **DONE**

Hold Level: **No hold**

Dates

Activity Added

Calendar Tag: **BRVW**

Report Tag:

Assigned To:

Note Added **6/3/14**

Done By: **EAS**

OK

Notes:

X-Coordinate:

Review with Holly Phipps, she is currently processing land us permit on parcel. Holly took the plans on 6/3/2014 after our meetings. See emails.

Y-Coordinate:

IVR Confirmation Number

Help

b-5

inval plan ✓ 6/13/14

2013 012460

PLANS EXAMINER, Elizabeth Szwabowski, 781-5725, call should you have questions.

BA01 RESUBMITTAL REQUIRED

As you are aware the Building Official is responsible to classify the structure per 2013 CBC 104, the plans were submitted as a residential remodel and addition but the plans actually meet definition & occupancy classification of a motel, R-1 per 2013 CBC 310, 310.3 & 310.5. To be classified as a house you will need to have 16 or fewer occupants. The occupant load factor is 200 sq. ft. per occupant (Table 1004.1.2) and therefore your occupant load for this structure is 35 occupants.

The plan shows a motel (bed and breakfast) with an attached guest house of 805 sq ft with separate entry and includes 7 bedrooms with 7 bathrooms serving each bedroom. The building is classified as a R-1(motel) not a R-3 (residence). You will need to resubmit a revised application for CHANGE OF USE from R-3 (residence) to R-1 (motel) and include 4 sets of working drawings for a motel include construction documents, see required components in BA03 below. Please set up a permit intake meeting with Steve Hicks, Supervising Plans Examiner, 805-781-5709 or myself. IMPORTANT! Make an appointment to resubmit the motel application do not just appear at the Permit Center. The working drawings and supporting documents shall be prepared & coordinated by a licensed Architect in the State of California.

Additional revised fees will be calculated for the new commercial/motel submittal. Be prepared to pay the 1st installment. At the intake meeting we will calculate the fees.

BA06 SCOPE OF WORK: CHANGE OF USE from R-3 (residence) to R-1(motel)

Your scope of work is as follows; Residential remodel (5,960 sq. ft.) & convert existing garage to habitable space (805 sq. ft.) & enclose porch area (178 sq. ft.), includes new windows & doors, demolition of ~90 % of the ext. & int. walls, structural modifications including new walls, headers, beams, & footings, adding (??) bedrooms, adding (??) bathrooms, altering the support systems (??), no modifying roofing material is proposed and patching of existing siding (??).

Please clarify the following questions:

- d) How do you patch exterior when you are removing most ext. walls?
- e) How does the roof not get modified when the exterior walls are demolished?
- f) How will you support the roof system when you are demolishing ~ 90 % of the interior and exterior walls? Shoring?

The scope of work is actually as follows;

Change of use permit from R-3 to R-1, the existing residence is (5,960 sq. ft.) & convert existing garage to habitable space (805 sq. ft.) & convert enclose porch area to habitable space (178 sq. ft.), also includes new windows & doors, demolition of ~90 % of the ext. & int. walls, structural modifications including new walls, headers, beams, & footings, totaling (7) bedrooms with attached (7) bath rooms, altering the support systems (??), and no modifying roofing material is proposed and patching of existing siding only(??).

BA02 INCOMPLETE PLANS

Your plans are incomplete at this time. The following list of plan corrections should not necessarily be considered complete, due to the fact that your plans lack a substantial amount of information.

BA03 REQUIRED SUBMITTAL COMPONENTS

The resubmittal shall include the following;

E-6

- a) Fire sprinklers are required for the entire structure/motel submit 2 sets of fire sprinkler plans design by a licensed Fire Protection Engineer (separate permit) include supporting calculations.
- b) Prior to issuance of this permit the property owner OR approved owner's agent shall receive an approved sign off from the fire department having jurisdiction for this permit.

BA21 ACCESS ROAD REQUIRED TO CAL FIRE STANDARDS

Show how site is accessed. Show driveway and indicate what improvements will have to be made to the driveway for it to conform to Cal-Fire driveway standards.

BA22 SITE PLAN REQUIREMENTS

Provide the following items on the site/plot plan:

1. Boundary Survey required
2. Scale. All plans are required to be drawn to scale that is legible, provide site plan blow up, sheet A-1.00 shall be legible.
3. Owner's name and phone number
4. Property dimensions shall be legible
5. Location of all:
 - a. existing buildings with permit numbers or date of construction
 - b. proposed structures
 - c. wells within 100 foot setback circle
 - d. septic tank and leach fields or sewer lateral w/ cleanouts
 - e. exterior decks and stairs
6. Electrical service size and location, with location of PG&E service entrance
7. Propane tank/Gas Meter location
8. Water meter/Water tank size and location
9. Driveways/road locations include width and slope and label existing and new.
10. Setbacks; Front, side, and rear yard setbacks from property line to structure
11. Easements
12. All trees that may be affected by the project.
13. Yard drains,
14. Back water valves,
15. Fences, gates (any over 6'6" requires permit and inspection)
16. Landings at all doors
17. All utilities: electrical meter location, gas meter location, water meter location.
18. Size of water meter and size of yard service. (will serve letter from water company must specifically state water meter size provided or well report for justify the new use).

BA23 TOPOGRAPHY

The plans submitted is too congested and is illegible, provide complete Civil Engineered drawing address grading, drainage, address existing and new utilities, show Low Impact design features, etc.

A site topographic plan prepared by state licensed engineer shall be submitted showing:

1. Existing contours (use light line weight) (2' minimum contours)
2. Proposed contours (use bold or dark line weight) (2' minimum contours)
3. Site drainage
4. Spot elevations/Finish grades
5. Finished floor elevations

6. Flow patterns, swale details, details
7. Lot corner grades which match approved tract grading plan
8. Finished elevations at highpoints, top of any yard drain grates, pipes with their sizes flow lines and especially where water leaves the site
9. On graded sites, provide elevations to show the top of the exterior foundation with relationship to the exterior grades, verify the existing site has 5% slope for 10 ft.
10. Provide photos of existing residence.
11. Show slope of driveway label existing and new.
12. Show the elevation of the garage floor.
13. Show the location of the LPG tank.

BA24 COUNTY HEALTH DEPT - CROSS CONNECTION & FOOD SERVICE FOOD SERVICE

Provide two sets of plans approved by County Health for Food Service for cross connection & Food service (Kitchen serving motel) to the Health dept.

Contact County Environmental Health at 781-5544.

Provide (2) copies of approved plans from County Health for food service, the plans shall bear their approved stamp. If you are exempt, then provide a letter of exemption.

CROSS CONNECTION

Prior to permit approval provide a set of plans to Health Dept for approval of the cross connection devices. Jon Williams at 805 781-5567 calls me directly to tell me the plans are approved or he can sign off the hold in the computer.

In addition, note on page one of the plans:

"Prior to final inspection AND/OR CERTIFICATION OF OCCUPANCY THE County Health Dept shall approve & inspect the cross connection devices."

Call Jon Williams, 805-781-5567. GRADING

BA25 STRUCTURAL PLAN REVIEW FOR MOTEL

Provide written verification from the structural engineer that the final motel plans have been reviewed & found to be consistent with the supporting calculations

BA26 SPECIAL INSPECTION/TESTING

Verify if any special inspection required for the motel.

If so, then including the following: (a) list required inspection tasks, (b) delineate continuous or periodic inspection for that task, (c) list who is the qualified Special inspector to perform the inspections, (d) delineate when will the report be provided. CBC 1704. Please note these requirements on the front page of the plans under the heading (bold) SPECIAL INSPECTIONS.

BA27 PRE-CONSTRUCTION MEETING

A pre-construction meeting is required with the inspector to go over the special inspection reporting requirements and verify the special inspectors are approved.

call Michael Stoker for South SLO County, 781-1543.

BA28 SUPPORT SYSTEMS (ELECTRICAL, PLUMBING & MECHANICAL)

All support system drawings shall be prepared by a licensed professional registered in the State of California.

SEWAGE DISPOSAL SYSTEM

BSS01 PERCOLATION TEST

Provide a soil percolation test by an approved soils lab. The on-site sewage disposal system must be designed by a civil engineer licensed in the State of California.

BSS02 SEWAGE DISPOSAL SYSTEM DETAILS

Provide details of the site sewage disposal system showing:

1. Septic tank size with distance from structures (5' min.), wells (50' min.) and leach field (5' min.)
2. Type and dimensions of disposal field with distance between the sidewalls of the trenches
3. Provide two additional feet between trench sidewalls for each additional foot of trench depth in excess of one foot below bottom of leach pipe.
4. Provide distances from septic system disposal fields to all water wells (100' min.), structures (8' min.), and side property lines (8' min)
5. Provide a cross-section of leach field trench.
6. For commercial septic systems, provide 200% of required leach and provide location of 100% expansion area

BSS03 DISPOSAL FIELD UNDER ROADS OR PARKING LOTS

Disposal fields/beds shall not be placed under roads, driveways or parking lots (the weight of the vehicle can crush the field and the paving will reduce effluent evaporation).

BSS04 EXISTING SEPTIC LOCATION

Provide a site plan showing the exact location of the existing septic system with its 100% expansion area.

BSS05 EXISTING SEPTIC VERIFICATION

Provide verification as to the location and the condition of the existing septic system. This verification must be done by a C-42 Licensed Sanitation System contractor. A form is available from the Building Department. See Septic Verification Form on Web or go to <http://www.sloplanning.org> Verify existing system is adequate for the change of use.

BSS06 SEPARATION FROM WATER WELLS

Maintain 100 feet from the septic system leach lines to any water well. Maintain 50' from the septic tank to water wells.

Provide survey from state licensed land surveyor or civil engineer to show location of wells on adjacent property.

BSS07 ENGINEERED SEWAGE DISPOSAL SYSTEM REQUIRED

The on-site sewage disposal system must be designed by a civil engineer licensed in the State of California. Submit plans and engineering of this system stamped and signed by the responsible engineer.

- a) Complete working drawings for a motel (R-1) use including a code analysis, verify compliance w/ details of fire & smoke resistance, clearly label required fire partitions & barriers for walls and floor systems. Provide approved fire-resistance-rated assemblies, member and through penetrations details include F-rating & T-ratings, cross sections identifying fire resistive components and details. Provide the approved details (UL approved devices, or other approved devices) for fire dampers, fire alarm, protection of fire & smoke resistance penetrations, key and reference all details. Evaluate & identify fire and smoke fire protective elements. Address sound transmission controls & flame spread ratings. Address occupant load and exiting requirements.
- b) Supporting Construction documents for motel.
- c) Provide structural cross sections through each unique Fire resistance condition from the foundation to the underside of the roof sheathing.
- d) Show compliance with Wild Urban land Interface, Chp 7A, 2013 CBC.
- e) Include Fire Sprinkler plans and supporting calculations.
- f) Grading & drainage plans including all site utilities, drainage, & low impact design features.
- g) Plans shall address disabled access compliance including path of travel, parking, egress, restrooms, etc.
- h) Septic & leach design and supporting calculations for a motel, include percolation testing.
- i) Working drawings for electrical, mechanical, and plumbing plans, stamped and signed by a licensed professional.
- j) Energy compliance documents for non-residential.
- k) Duct sizing calculations per ACCA manual standards.
- l) Green Build Ordinance and Code.
- m) Revise structural calculations for a motel.
- n) Provide shoring plans and supporting calculations to support the roof.

BA04 REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE

The entire scope of work for this project must be designed by a California registered Architect. All plan sheets to be signed and stamped by the licensed professional.

Please see attached "Registered Designed Professional in Responsible Charge" form. Please fully complete this form and turn it in with the revised plans. The form can be found at www.sloplanning.org

The Licensed Professional in Responsible Charge shall provide a written response from each item and coordinate the resubmittal. Should any changes be made to the original submittal this shall be disclosed upon resubmittal by the professional in charge.

BA05 PLANNING APPROVAL - DRC 2013-00028

Obtain Planning approval for the motel (R-1) use. Modify the currently Land use permit to allow for the motel use that is in process, DRC 2013-00028.

Incorporate "the project conditions of approval" on the plans. If you need assistance in locating these conditions please contact the case planner, Holly Phipps, 781-1162.

BA06 SHORING

Prior to permit issuance the applicant shall (a) Graphically illustrate on the plans how the construction operation will not require shoring or (b) provide a shoring plan with supporting calculations prepared by a licensed professional. Label limits of required shoring. Shoring is NOT allowed to be a deferred submittal. CBC 106

E-10

BA07 SEPARATE PERMITS REQUIRED

Separate permit may be required for the following:

SHORING

FIRE SPRINKLERS

BA08 COVER SHEET REQUIREMENTS

Provide the appropriate information as it applies to this scope of work for the following Headings;

PRE CSTR MTG

REPORTS REQUIRED

SPECIAL INSPECTION TABLES (soils & footings, Simpson anchors & strong walls)

APPROVED SPECIAL INSPECTORS (Provide names, firm, contact info, qualifications)

CODE ANALYSIS/ FIRE SPRINKLERS

SEPARATE PERMITS

AGENCY SIGNOFFS (HEALTH, CAL FIRE....ETC)

BA09 COVER SHEET REQUIREMENTS

- a. Building summary include the number of bedrooms being added and number of restrooms being added.
- b. Vicinity map, submit legible map.
- c. Building height
- d. Building Occupancy Group and Type of Construction, Sprinklers
- e. List owners name, address, and phone number.

BA10 EXISTING FLOOR PLAN

- a) Provide an existing floor plan for the residence show the number of existing bedrooms and baths.
- b) How many new bedrooms and baths are you proposing?
- c) What is the permit number for the existing residence? Note the permit number in the scope of work and note on the plans.

BA11 SITE PLAN/PERMIT HISTORY

- a) Label each structure and note the use of the structure include the building permit number.
- b) Verify all structures have proper permits. The applicant must ID all residences and show permits with farm support agreements.

BA12 SEPARATE REVIEW/PERMIT IS REQUIRED AT THE TIME OF MOTEL SUBMITTAL

The fire sprinkler permit shall be submitted at the time of the change of use from R-3 to R-1 permit intake meeting for the motel. Automatic Sprinkler System Design per NFPA 13 or 2013 CBC.

BA13 WILDLAND URBAN INTERFACE (see attached handout)

The plans shall show compliance with Chap 7A of the 2013 CBC. Since you are demolishing ~90% of the exterior walls, then you have triggered these requirements.

BA14 LOW IMPACT DESIGN REQUIRED

The new 2010 Cal Green Code and the County requires that you use Low Impact Development (LID) to reduce runoff and recharge the ground water. Please see the County's LID handout and show the

required amount of agency approved storm water reduction measures from the handout.
www.sloplanning.org

BA15 WASTE RECYCLING CONSTRUCTION WASTE MANAGEMENT PLAN REQUIREMENTS

Please provide the waste recycle form filled out and signed prior to issuance. The owner/applicant/contractor/person doing the work is required to recycle 70% of all project construction and demolition debris.

BA16 GREEN BUILDING ORDINANCE & ENERGY COMPLIANCE

- a) The plans shall show compliance see attached handout and the handout can be found at www.sloplanning.org, the plans submitted are silent.
- b) Submit revised energy calculations for non-residential use.

BA17 CODE COMPLIANCE STATEMENT

2013 California Building Code (2012 IBC),
2013 California Electric Code (2011 NEC);
2013 California Mechanical Code (2012 IAPMO UMC);
2013 California Plumbing Code (2012 IAPMO-UPC);
California Title 24: 2011 California Energy Code and Accessibility Standards;
County Ordinance(s) Title 19 (Building), 22 (inland),
County Fire Code Ordinance Title 16

BA18 FIRE PLAN - SITE PLAN REQUIREMENTS (HIGH FIRE ZONE)

PLEASE NOTE: Fire Plan Requirements must be added to the site plan prior to resubmitting plan check corrections. Please see your Fire Plan by Cal Fire or your local Fire Jurisdiction. The following items might be applicable:

1. Driveway width and slope and type of paving.
2. Water storage requirements for sprinklers (Only metal storage tanks are allowed in Very High Fire Hazard Zones). Supply lines existing and new.
3. Fire Department connection
4. Fire Engine Turn-around and Turn-out space
5. Vegetation Clearance for Defensible Space
6. Electric Gate requirements
7. Address numbers

BA19 FIRE PROTECTION SITE PLAN

The Registered Design Professional to provide a fire protection site plan for sprinkler system. This should include:

- a) Size & location of pump house. Provide framing details of pump house.
- b) Storage tank location & size.
 - b1) Tank will need to be engineered for seismic. Show footings & anchorage if applicable.
- c) Provide a permit for the storage tank.
- d) Show size of UG piping, thrust block location & size. Provide thrust block calcs.
- e) Provide a complete single line electrical diagram for the fire & jockey pump.
- f) Show fire department connection.

BA20 FIRE SAFETY PLAN REQUIRED& FIRE SPRINKLERS

E-12



Notes For
Case #: PMT2013-02460

5/6/15
10:09:23AM

Date	Updated By	Notes
6/2/14	EAS	<p>On 5/30/14, email to Holly P., cc: Steve Hicks, Cheryl Journey, Matt J. RE: This is NOT an R-3, residence but is an R-1, motel.</p> <p>Good afternoon Holly, I hope all is well.</p> <p>I spoke with Karen Nall and she agreed you need to see this alleged house remodel permit which is on a large parcel (120 acres) that you are currently processing a land use permit for the Olive processing & tasting room site.</p> <p>The team you are dealing with on the land use permit is team 1, Christy Gabler, NCE and team 2 is Joel Snyder (Caron Design) & Ormonde contractor is on the house remodel and addition permit, PMT 2013-02460.</p> <p>I know you've never seen the house plans before but Karen & I agreed you should look at them, it appears to be a bed and breakfast/motel with an attached guest house of 805 sq ft with separate entry.</p> <p>When would you like to meet so we can go over the real scope of work for permit, PMT 2013-02460 and see how it affects the current land use permit process?</p> <p>The Building division classifies this structure as an R-1, mote/hotel, per the 2013 CBC the occupant load is 35 people. This is not a single family residence (R-3) as the plans indicate they are proposing 7 bedrooms with 7 bathrooms serving each bedroom.</p> <p>FYI - This is not a residential submittal but is a commercial submittal. The applicant will have to resubmit the revised commercial plans, application for the correct use and provide the correct components for a commercial submittal.</p> <p>Let's meet and discuss if you have any issues, I'll be awaiting your reply.</p> <p>With Regards, Elizabeth Szwabowski</p>

E-13



Notes For
Case #: PMT2013-02460

5/6/15
10:09:23AM

Date	Updated	By	Notes
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E-14



Notes For
Case #: PMT2013-02460

5/6/15
10:09:23AM

Date	Updated By	Notes
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6/3/14 EAS On 6/3/14, Email to Holly P. after meeting,
CC: Steve Hicks, Laurie Donnelly, Bil Robeson

Holly, Thank you for your time today.

Here are the key issues I have discovered while plan checking the house/motel. As you said, they will need to revise their Land Use permit to include the motel use (Bed & Breakfast).

1) RESUBMITTAL REQUIRED

As you are aware the Building Official is responsible to classify the structure per 2013 CBC 104, the plans were submitted as a residential remodel and addition but the plans actually meet the definition & occupancy classification for a motel, R-1 per 2013 CBC 310, 310.3 & 310.5. To be classified as a house you will need to have 16 or fewer occupants. The occupant load factor is 200 sq. ft. per occupant (Table 1004.1.2) and therefore your occupant load for this structure is 35 occupants. The plan shows a motel (bed and breakfast) with an attached guest house of 805 sq ft with separate entry and includes 7 bedrooms with 7 bathrooms serving each bedroom. The building is classified as a R-1 (motel) not a R-3 (residence).

You will need to resubmit a revised application for CHANGE OF USE from R-3 (residence) to R-1 (motel) and include 4 sets of commercial plans and construction documents, include the required components. Please set up a permit intake meeting with Steve Hicks, Supervising Plans Examiner, 805-781-5709 or Elizabeth Szwabowski, 781-5725.

IMPORTANT! Make an appointment to resubmit the motel application. The working drawings and supporting documents shall be prepared & coordinated by a licensed Architect in the State of California.

Additional revised fees will be calculated for the new commercial/motel submittal. Be prepared to pay the 1st installment. At the intake meeting we will calculate the fees.

2) SCOPE OF WORK: CHANGE OF USE from R-3 (residence) to R-1(motel)

Your scope of work is as follows; Residential remodel (5,960 sq. ft.) & convert existing garage to habitable space (805 sq. ft.) & enclose porch area (178 sq. ft.), includes new windows & doors, demolition of ~90 % of the ext. & int. walls, structural modifications including new walls, headers, beams, & footings, adding (??) bedrooms, adding (??) bath rooms, altering the support systems (??), no modifying roofing material is proposed and patching of existing siding (??).

Please clarify the following questions:

- a) How do you patch exterior when you are removing most ext. walls?
- b) How does the roof not get modified when the exterior walls are demolished?
- c) How will you support the roof system when you are demolishing ~ 90 % of the interior and exterior walls? Shoring?

The scope of work is actually as follows;

Change of use permit from R-3 to R-1, the existing residence is (5,960 sq. ft.) & convert existing garage to habitable space (805 sq. ft.) & enclose porch area (178 sq. ft.) into habitable space, also includes new windows & doors, demolition of ~90 % of the ext. & int. walls, structural modifications including new walls, headers, beams, & footings, totaling (7) bedrooms with attached (7) bath rooms, altering the support systems (??), no modifying roofing material is proposed and patching of existing siding (??).

3) REQUIRED SUBMITTAL COMPONENTS

The resubmittal shall include the following;

- a) Complete working drawings for a motel (R-1) use including a code analysis, verify compliance w/ details of fire & smoke resistance, clearly label required fire partitions & barriers for walls and floor systems. Provide approved fire-resistance-rated assemblies, member and through penetrations details include F-rating & T-ratings, cross sections identifying fire resistive components and details. Provide the approved details (UL approved devices, or other approved devices) for fire dampers, fire alarm, protection of fire & smoke resistance penetrations, key and reference all details. Evaluate & identify fire and smoke fire protective elements. Address sound transmission controls & flame spread ratings.
- b) Supporting Construction documents for motel.
- c) Provide structural cross sections through each unique Fire resistance condition from the foundation to the underside of the roof sheathing.
- d) Show compliance with Wild Urban land Interface, Chp 7A, 2013 CBC.
- e) Include Fire Sprinkler plans and supporting calculations.
- f) Grading & drainage plans including all site utilities, drainage, & low impact design features.
- g) Plans shall address disabled access compliance including path of travel, parking, egress, restrooms, etc.
- h) Septic & leach design and supporting calculations for a motel, include percolation testing.
- i) Working drawings for electrical, mechanical, and plumbing plans, stamped and signed by a licensed professional.
- j) Energy compliance documents for non-residential.



Notes For
Case #: PMT2013-02460

5/6/15
10:09:23AM

Date	Updated	By	Notes
			<p>k) Duct sizing calculations per ACCA manual standards. l) Green Build Ordinance and Code. m) Revise structural calculations for a motel. n) Provide shoring plans an supporting calculations to support the roof.</p> <p>4) REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE The entire scope of work for this project must be designed by a California registered Architect. All plan sheets to be signed and stamped by the licensed professional.</p> <p>5) EXISTING FLOOR PLAN a) Provide an existing floor plan for the residence show the number of existing bedrooms and baths. b) How many new bedrooms and baths are you proposing? c) What is the permit number for the existing residence? Note the permit number in the scope of work and note on the plans.</p> <p>6) SITE PLAN/PERMIT HISTORY a) Label each structure and note the use of the structure include the building permit number. b) Verify all structures have proper permits. The applicant must ID all residences and show permits with farm support agreements. Label each structure on the site plan and note the use and size of the structure include the building permit number. Verify all structures have proper permits excluding structures under 120 sq ft.</p> <p>7) PLANNING APPROVAL - DRC 2013-00028 Obtain Planning approval for the motel (R-1) use. Modify the currently Land use permit that is in process to allow for the motel use, DRC 2013-00028. Incorporate "the project conditions of approval" on the plans. If you need assistance in locating these conditions please contact the case planner, Holly Phipps, 781-1162.</p> <p>Thanks, we'll be in touch, please return the plans when you are done.</p> <p>With Regards, Elizabeth Szwabowski (805) 781-5725</p>
7/8/14		SPH	<p>on 7/8/14 cj directed me to have the plans done by MV ASAP so i removed this note from the final plan check- and revised the description</p> <p>IMPORTANT!!!!!!!!!!!! DO NOT ACCEPT THE PLAN CORRECTIONS RETURN, THE APPLICANT SHALL SCHEDULE AN INTAKE MEETING WITH SH OR EAS FOR A CHANGE OF USE FRO R-3 TO R-1. THE APPLICANT NEEDS TO AMEND THE LAND USE PERMIT FOR THE MOTEL USE per HAP. (EAS).</p>
7/8/14		SPH	<p>took this out of the description on 7/8/14</p> <p>THE SCOPE OF WORK IS ACTUALLY AS FOLLOWS; CHANGE OF USE PERMIT FROM R-3 TO R-1, THE EXISTING RESIDENCE IS (5,960 SQ. FT.) & CONVERT EXISTING GARAGE TO HABITABLE SPACE (805 SQ. FT.) & ENCLOSE PORCH AREA (178 SQ. FT.) INTO HABITABLE SPACE, ALSO INCLUDES NEW WINDOWS & DOORS, DEMOLITION OF ~90 % OF THE EXT. & INT. WALLS, STRUCTURAL MODIFICATIONS INCLUDING NEW WALLS.....</p> <p>PLEASE CLARIFY THE FOLLOWING QUESTIONS: A) HOW DO YOU PATCH EXTERIOR WHEN YOU ARE REMOVING MOST EXT. WALLS? B) HOW DOES THE ROOF NOT GET MODIFIED WHEN THE EXTERIOR WALLS ARE DEMOLISHED? C) HOW WILL YOU SUPPORT THE ROOF SYSTEM WHEN YOU ARE DEMOLISHING ~ 90 % OF THE INTERIOR AND EXTERIOR WALLS? SHORING?</p>

E-16

From: Elizabeth Szwabowski/Planning/COSLO
To: Cheryl Journey/Planning/COSLO@Wings
Date: 06/17/2014 11:28 AM
Subject: Re: PMT 2013-02460 - Pasolivo

Will do, thanks.

With Regards,
Elizabeth Szwabowski
(805) 781-5725



Cheryl Journey Elizabeth - Just to follow up on our discussion thi... 06/17/2014 09:41:14 AM

From: Cheryl Journey/Planning/COSLO
To: Elizabeth Szwabowski/Planning/COSLO@Wings
Date: 06/17/14 09:41 AM
Subject: PMT 2013-02460 - Pasolivo

Elizabeth -

Just to follow up on our discussion this morning. Please review the project as a SFR (not a commercial B and B).
The description shall state that it is a SFR with maximum occupant load of 16.

Thanks for all your coordination efforts on this.

Cheryl Journey
Chief Building Official, County of San Luis Obispo
805.781.1314
cjourney@co.slo.ca.us



EXHIBIT HH

Agenda Item No: 32 • Meeting Date: July 7, 2015
Presented By: Alison Norton
Rec'd prior to the meeting & posted on: July 2, 2015
Page 154 of 155

From: Jamie Kirk <jamie@kirk-consulting.net>
To: "cjourney@co.slo.ca.us" <cjourney@co.slo.ca.us>
Date: 06/19/2014 04:01 PM
Subject: Pasolivio

Sounds like the plans are officially back in your department. I think having a different plan checker would help the situation especially in light of the comments E.S. made yesterday about Caron.

I had a good meeting with Jim B. Let him know that you and Matt try and do all you can do but we just have some difficult personalities at the front counter- I am done with it all for now and hope things improve.

You should be getting my cash calendar money today which should get me some credit for dues.

JAMIE KIRK | KIRK CONSULTING

8830 MORRO RD | Atascadero, CA 93422 | 805.461.5765 EXT. 11

 Please consider the environment before printing this email.

